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6 August 2018

**RE: CONSERVATION MANAGEMENT STRATEGY & STATEMENT OF HERITAGE IMPACTS
FOR 27-33 EVERTON ROAD, STRATHFIELD – WHELANS STRATHFIELD HOTEL**

The following Conservation Management Strategy (CMS) has been prepared by Heritage Advice to provide guidelines for the ongoing conservation of Whelans Strathfield Hotel. *The Hotel* is listed as a local heritage item and contains an altered three storey Inter-War hotel with historical, aesthetic and social heritage values.

The first two parts comprise the CMS for *The Hotel*:

- "Investigation and Assessment" &
- "Conservation Policy and Management"

The third part is a Statement of Heritage Impact prepared to address a proposed major addition linked to *The Hotel*. As alteration to *The Hotel* is proposed, conservation policies and a **revised schedule of conservation works** are provided to guide conservation of significant fabric.

The Hotel retains its Inter-War form in the core of the hotel but the ground floor has been substantially altered over its lifetime with the upper floors remaining the most intact of the Inter War interiors. *The Hotel* demonstrates historical and aesthetic values as an Inter-War hotel and would have potential social significance. It retains its Inter-War front façade, inset colonnaded balconies, face brickwork walls, tiled main entry, several original hotel rooms, some leadlight windows and joinery generally in the main part of the hotel, all close to their original state.

Historical research has identified remnant fabric dating to the early 20th Century. This resulted from redevelopment of the earlier "Arditto's Family Hotel". This was purchased by the Whelan Family in 1920 and redeveloped in the late 1920's.

The redevelopment involved complex construction staging to maintain an operating hotel. Very few parts of the previous hotel remained unaltered on completion in 1928.

Much was totally reconstructed including floors, roof and internal layout. This is based on our analysis of "as existing" and working drawings for the reconstructed hotel, part of State Archives' hotel licensing records.

Conservation Management
Plans
Heritage Impact Statements
Heritage Item Assessment
Conservation Area Assessment
Heritage Listings
D.A. Design Advice
Pre-Auction Inspection
Heritage Advisor Service
LEP & DCP guidelines
Conditions of Consent
Council DA Assessment
Archival Drawings
Photo Recording
Heritage Interpretation
Maintenance Schedules
Advocacy & Mediation
Land & Environment Court

Based on the **historic and physical** analysis, the various parts of the present hotel buildings have been graded in terms of their significance. The conservation management strategy recommended is for preservation of the frontage and the “Hotel Core” of the 1928 building which retains in its fabric historical, aesthetic and social significance. This strategy involves retention of areas of highest heritage values while permitting demolition of much altered rear and peripheral parts.

It is considered that losses of **less significant** fabric would be mitigated by the reinforcement of social values in a redevelopment that retains the most significant and public parts of *The Hotel*, (**referred to in this CMS as the “Hotel Core”**) as part of a viable ongoing hotel business. **A financial analysis by V.J.Ryan has been prepared and its findings referenced in this Revised CMS.**

The tower is a separate structure located to the rear of the heritage **Hotel Core**. It combines proposed additional hotel rooms linked to the hotel with residential apartments above and basement car parking below. Two retail shops, **separated from The Hotel Core by a new entry passage leading to the apartments**, would reinstate expression of the original subdivision pattern to the west interpreting the extent of the frontage of Arditto’s Hotel property. The development as proposed would ensure long term viability of the retained *Hotel Core* for its original functions while providing a mixture of residential and hotel accommodation to contemporary standards. As with the 1920’s reconstruction, the proposed works would be staged and *The Hotel* maintained in operation during the project.

The proposed new building will be separated from the heritage **Hotel Core** by a roof terrace garden and linked at upper levels to the new hotel accommodation comprising two levels of the new addition to *The Hotel*. The upper levels would provide a mixture of studio, one and two bedroom residential apartments in an articulated tower set parallel to Cowdrey Lane.

This form maximises the setting of the heritage *Hotel Core*. Roof terraces serving the hotel are located more to the Everton Road frontage with separate roof terrace open space serving the residential tower. The proposed mixed use tower and podium building to the rear of *The Hotel* is considered to be a sympathetic major addition that retains the significance of *The Hotel Core* in its C 1926 form and would preserve the hotel functions into the future. The retained original portions are augmented with new contemporary hotel rooms and residential apartments above a podium linked to the rear of the retained *Hotel Core*.

The proposed separation and link are designed to be sympathetic in form and character and retains the integrity of *The Hotel* while developing the property as a contemporary hotel and residential apartment building. This approach provides for upgraded accommodation for hotel guests with least disturbance of retained original

fabric in *The Hotel Core*. Changes made to the residential building in response to Council's Urban Design and Heritage comments address the issues of bulk, scale and setbacks, particularly at the western boundary. The Heritage Impact Statement finds that, with these changes, the residential tower and podium would provide a sympathetic backdrop to *The Hotel* set-back from the rear of the retained *Hotel Core*.

Council's heritage comments have been addressed as follows:

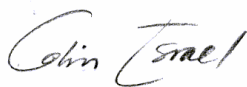
- Relocation of the residential entrance to outside the historic hotel building therefore not requiring modification of the original 1928 reasonably intact entrance lobby.
- Provision of an open area alongside the western side of the hotel building (approx. 2m-2.2m wide), which better exposes this side to public view and allows visibility of the 1928 arched window.
- Splayed corner to the retail space, and an awning which is separate from the hotel building.
- Provision of a brick on lower levels of the new development which better responds to the materiality of the hotel, creates a brick podium which relates to the hotel.
- Access is shown from the existing Level 1 of the hotel to the proposed hotel garden.
- Retaining an additional section (approx. 2m - 2.5m) of the hotel's western wall which include?? CI

The major new works are situated to the rear and sides of *The Hotel's Inter-War core*. The existing facilities in *The Hotel* which have previously been altered are further upgraded, including major BCA Upgrade including fire safety measures. Minor upgrading is proposed to the Inter-War core's upper floor rooms. Additional hotel accommodation is provided in the new rear building to meet the requirements of contemporary patrons. The works are detailed in the DA drawings. Heritage Advice was consulted at the outset and inspected and researched the property to provide a sound basis for conservation of the significance of the item.

The proposed works and alterations are considered to be acceptable. The CMS includes a Revised Schedule of Conservation Works and Maintenance to guide conservation.

We support the application and recommend approval.

Yours truly,



Principal Heritage Consultant

Conservation Management Strategy & Statement of Heritage Impacts WHELANS STRATHFIELD HOTEL NSW 2135



Introduction - Page 10

Part 1 – Investigation and Assessment - Page 12

Part 2 – Conservation Policy and Management - Page 42

Part 3 – Statement of Heritage Impact - Page 55

A handwritten signature in black ink that reads 'Colin Israel'.

Colin Israel

B.Sc(Arch), B.Arch, UNSW; M. Herit. Cons. USYD

Principal Heritage Consultant

HERITAGE ADVICE

REVISED AUGUST 2018

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SEE ALSO A3 REFERENCE DRAWINGS OF ORIGINAL PLANS PROVIDED SEPARATELY

1. INTRODUCTION

1.1 Subject

The subject of this Conservation Management Strategy is No. Whelans Strathfield Hotel NSW. This property is a single storey Hotel with previous alterations and rear additions. It is listed as a local heritage item by Burwood Council.

1.2 Listing Details

Database No:	1250016	(Lots 26-30 Section 1 DP 978482 and Lot 2 DP 303721; Lot 32 DP 920734).		
Name of item:	Everton Road Hotel Group			
Type of item:	Complex / Group			
Group/Collection:	Hotel buildings (private)			
Category:	Hotel			
Primary address:	27-33 Everton Road, Strathfield, NSW 2135			
Local govt. area:	Burwood			
Burwood Heritage study	1986	1.15	Fox & Associates Architects/Planners Sydney	SHI criteria No
Burwood LEP	2012	1 194	Schedule 5 Part 1 – Local Heritage Item	No

1.3 Study Objectives

This Conservation Management Strategy is intended to provide sufficient historical background and physical analysis to enable sound judgements of heritage related issues.

This report includes policy and management sections to assist in the future maintenance and care of the heritage listed property.

1.4 Methodology

This report generally follows the guidelines of *Conservation Management Strategy (CMS) Part 1: Investigation and Assessment sections* and *Part 2: Conservation Policy and Management sections* published by the NSW Heritage Office. The terms fabric, place, preservation, reconstruction, restoration, adaptation and conservation used throughout this report have the meaning given them in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter).

1.5 Purpose and Structure of Report

A Conservation Management Strategy (CMS) is an alternative to a full Conservation Management Plan (CMP). A CMS is a briefer version of a CMP that will provide a broad overview of conservation approaches and management guidance.

A CMS may be useful in the following situations:

- for use with items of local significance;
- for use with items of State significance for which no major changes or interventions are planned in the short to medium term that have the potential to materially affect the item;
- as an interim planning document for SHR items pending the preparation of a standard conservation management plan.

A Conservation Management Strategy (CMS) has 2 sections:

- Part 1: Investigation and Assessment
- Part 2: Conservation Policy and Management sections

Part 3 has been added to this report and presents a Statement of Heritage Impacts for the proposed Major Additions.

1.6 Definition of the Study Area

The study area is defined as the lot boundaries of Nos. 27-33 Everton Road Strathfield. Whelans Strathfield Hotel NSW : Certificates of Title comprising:

Lots 26-30 Section 1 DP 978482 and
Lot 2 DP 303721; Lot 32 DP 920734).

The study area is identified in Figures 1-4.

1.7 Limitations

Access was provided internally and externally to the subject building. The building was in operation as a hotel and this restricted visual access to some parts of the interior. Access was sufficient to reliably assess the condition of the existing building. All reasonable and necessary research avenues have been explored. Only non-intrusive methods were used for the investigation of the fabric.

1.8 Identification of Authors

This CMS was researched and prepared at the request of property owners by Colin Israel Principal, Heritage Advice. *The Hotel* was inspected by Colin Israel for this study.

1.9 Sources

The main documentary sources consulted in the research for this report are listed below:

- NSW Land & Property Information – Land Titles records.
- NSW Register of Births, Deaths & Marriages – BDM Records
- Sydney Sands Directory (1921-1933)
- NSW Land and Property Information (aerial photographs and maps)
- National Library of Australia (maps)
- Australia ICOMOS Burra Charter
- Guidelines *Conservation Management Strategy (CMS) Part 1: Investigation and Assessment sections* and *Part 2: Conservation Policy and Management sections* published by the NSW Heritage Branch.

Further historical sources are also cited in the body of the report.

1.10 Copyright

This report is copyright of Colin Israel - Heritage Advice. It has been prepared in support of the DA application prepared by property owners to be lodged with Burwood Council.

It shall not be used for any other purpose and shall not be transmitted in any form without the written permission of the author.

Part 1 – Investigation and Assessment

2 PHYSICAL EVIDENCE

2.1 Location



Figure 1: General location of study area indicated by the red outline.

Source: LPI Six Maps

The suburb of Strathfield is located about 15 km from the Sydney CBD served by Parramatta Road and the Great Western Railway Line with Strathfield Station being a key interchange. Although located within the suburb of Strathfield it is within the of Burwood Council Local Government Area.

The Hotel, 27-33 Everton Road, is situated north of the Railway Line on the northern side of Everton Road about 50 metres west of the Station's main entrance.

2.2 Topography

The Hotel follows the gradual gradient of Everton Road as it rises towards the east. There is a slight rise from front to back (Everton Road to Cowdery Road) to the rear of *The Hotel*. The lowest part of the *The Hotel* is the south west with *The Hotel's* floor set above this. The proposed area of development is to the rear of *The Hotel* and situated slightly higher than *The Hotel* which accommodates the difference with a step in floor levels between the Hotel and its rear wings.

2.3 Heritage Status

The Hotel is listed as a Local Heritage Item in Schedule 5 Part 1 (Heritage Items) of Burwood Council's Draft LEP 2013. *The Hotel* is not located within a conservation area, but two other Local Heritage Items (I 192 & I 193) are situated within the general area. Opposite the site and with reciprocal views is the Strathfield Railway Station Group which is listed as a State Heritage Item. The State Heritage Inventory sheet for *The Hotel* contains details for this item but does not specifically identify Whelan's Hotel as a component of its visual context.

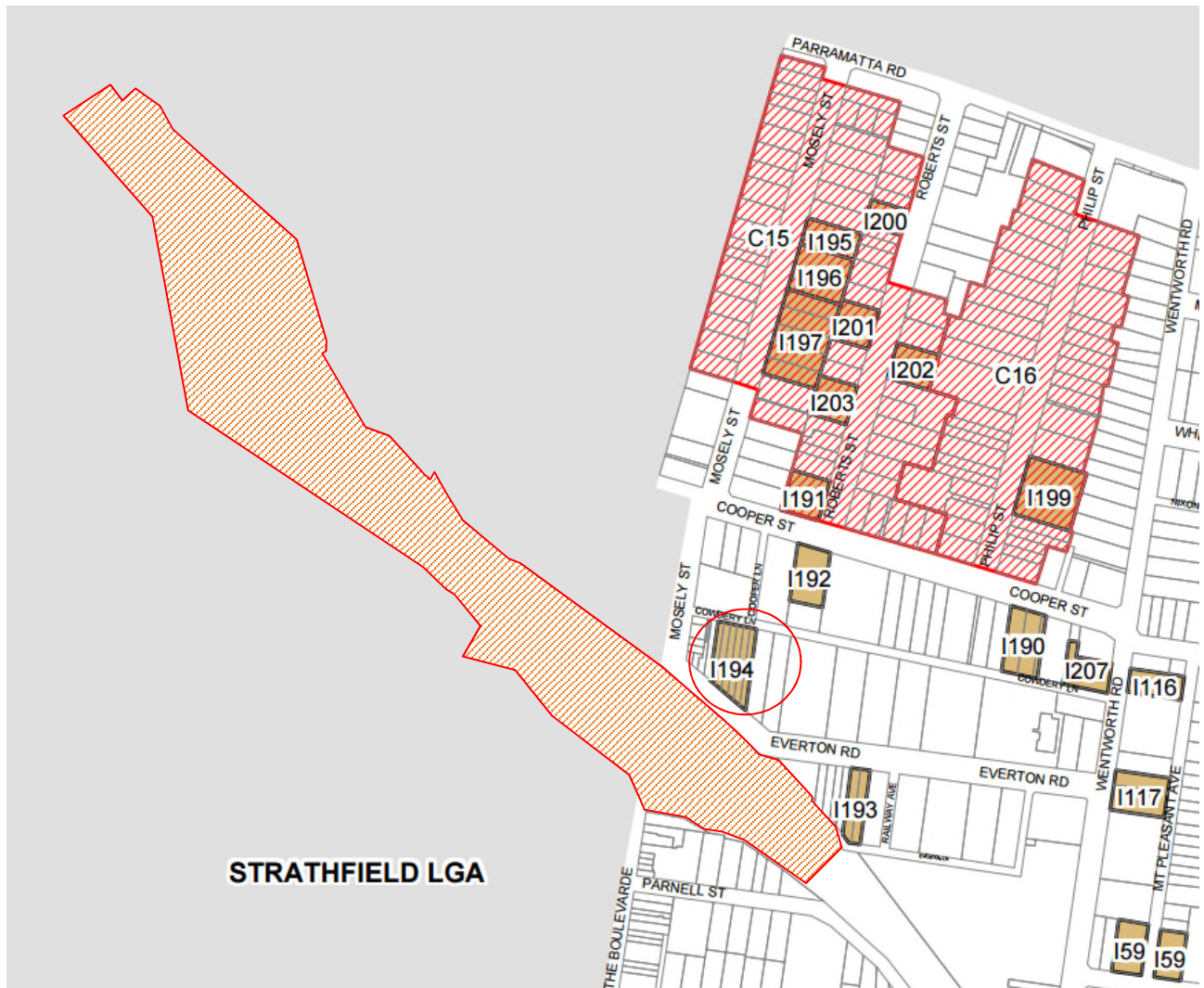


Figure 2: Heritage Map showing *The Hotel* (I194) and other local heritage items in the general area but not “in the vicinity” of the site. Opposite the site is the Strathfield Railway Group which is a State Heritage Item (added outline - hatched in red)

Source: Burwood LEP 2012 Heritage Map Sheets – North & SHR 01252 Curtilage See Fig 3 next page.

Heritage Council of New South Wales

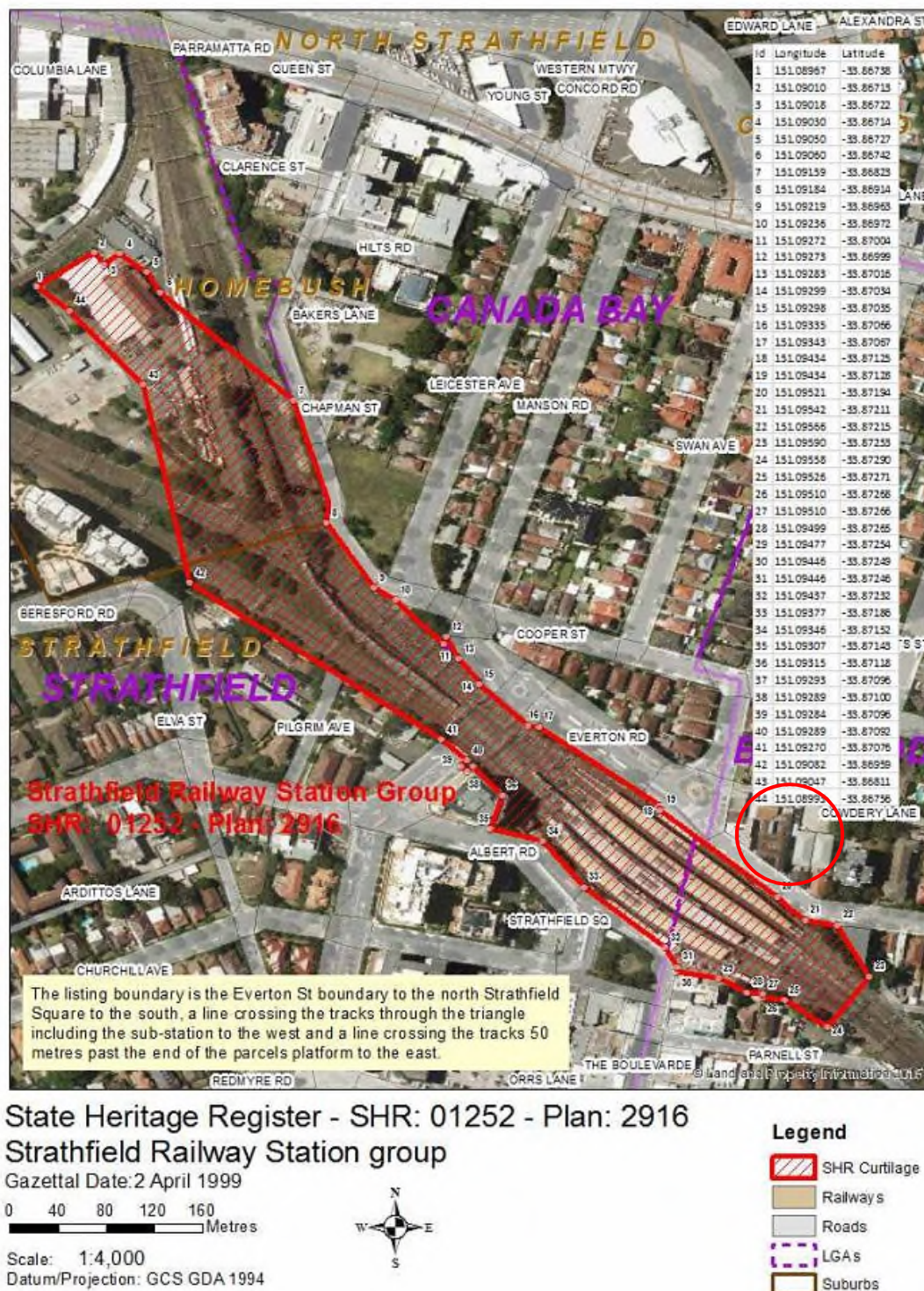


Figure 3: Heritage Map showing location of The Hotel relative to The Strathfield Railway Group
 Source: SHR 01252 Curtilage.



Figure 4: Cadastral Map showing the component allotments of The Hotel – Council Boundaries dotted.
Source: LPI Six Mapping



Figure 5: Recent aerial photograph of The Hotel (outlined) showing overall site.
Source: RTA in LPI Six Mapping



Source: RTA in LPI Six Mapping

Figure 6: RTA 1943 series aerial photograph showing *The Hotel*.

2.4 Views and Setting

Due to the splayed frontage of the properties there are oblique views of *The Hotel* as seen from the western approach and a wider angle of view from the eastern approach along Everton Road. Direct views of the southern (street) facade are seen from the opposite side of Everton Road and from Platform 8 of Strathfield Station but direct views from the other platforms of Strathfield Station are largely obscured by the platforms' roofs with their drop valences of shaped boarding.

The Hotel has some visibility in the townscape of Strathfield mainly from the vantages offered by the multi-storied development of the last decades of the 20th Century up to the present times. Other than this the hotel is divorced from the context of Strathfield's central precinct.

The front facade of the hotel directly addresses the street and is an imposing structure in its immediate context of two storey shops and residential development. Late 20th Century residential flat buildings to the north and east are soon to be reinforced by several pending developments including approved development adjoining to the east comprising a three-storey podium and residential towers designed with setbacks from the hotel.



Figure 7: View of facade of Whelan's Strathfield Hotel from (mostly disused) Platform 8 of Strathfield Station (taken standing on raised area above platform) showing the front of The Hotel with recessed balconies above the street front awning. Source: Colin Israel - Heritage Advice - 2016



Figure 8: Partial Views of facade of Whelan's Strathfield Hotel from Platform 2 & 4 of Strathfield Station - Mostly obscured by platform roof valences and other structures.

Source: Colin Israel - Heritage Advice - 2016

To the rear of the hotel are several interconnected yards including a small beer garden. The original hotel site has been augmented by two smaller properties to the west that are partially integrated with the hotel as its drive-through bottle shop.



Figure 9: View of rear service area of The Hotel looking to south comprising plant rooms for air conditioning and cool room plant; service wing and yards with modest accommodation (western wing) above right.
Source: Colin Israel – Heritage Advice 2015



Figure 10: View of rear of The Hotel looking to south comprising servery plant and enclosed beer garden with eastern service wing above.
Source: Colin Israel – Heritage Advice 2015

2.5 Physical Description of the Property

2.5.1 Introduction

This description is based on a visual inspection of the property. The online inventory sheet contained few details as to the significance of *The Hotel*. Research in this report confirms that the original hotel on the site “Arditto’s Family Hotel” was constructed about 1890 with additional wings added to the rear in the early 20th Century. It was modified in the early 1920’s and then radically reconstructed between 1926 and 1928 as an Inter-War Free Classical hotel and has been in continuous use as a hotel since those times.

The ground floor interior has sustained several radical reconfigurations with only remnants of original 1928 spaces evident. The first and second stories retain greater authenticity in several rooms and original corridor layout surviving from 1928. The two rear wings have external walls that are remnants of the early 20th Century additions to “Arditto’s Family Hotel”.

2.5.2 Exterior Description

The existing building is a three-storey hotel with a tiled hipped main roof set behind a decorative parapet at the front and expressed as eaves with exposed rafter ends elsewhere. The south elevation is splayed in plan to follow the allotments frontage and divided in to three bays with the ends projecting slightly forward of the central bay. This street façade is finished in face brickwork with brick quoins and has inset balconies on the first and second floors with three arched openings on the first and ionic columns on the second storey. The windows follow this hierarchy with blind arched heads on the first floor and rectangular windows on the first floor.

The windows are timber framed with six paned double hung sashes. The parapet is bracketed with pediments and mouldings to false gables on each end bay, topped with a moulded capping visible as a skyline element.

The east and west side elevations are in common brickwork and have numerous repairs, exposed plumbing and other services. Beyond the parapet of the front façade, the flanking walls are topped with exposed rafters at the eaves and simple quad gutter on a timber fascia. The windows are timber framed and the masonry heads have been reconstructed with new steel lintels.

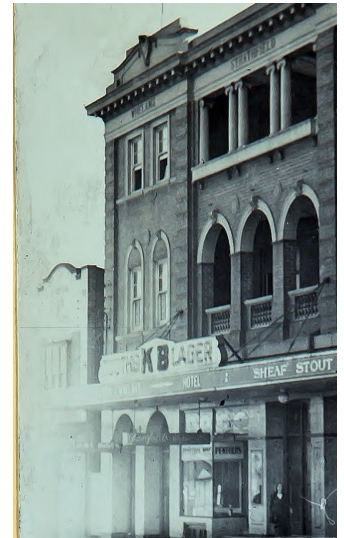
To the rear the brickwork demonstrates the addition of wings of secondary scale and quality. The wing on the western side is an amalgamation of a two-storey addition to which a second floor was added. Originally the first and second floors were served by verandah / walkway on the eastern side, suggesting that the accommodation was built as staff quarters. This verandah was later fully enclosed, but the distinction can be seen in the change of levels where the wing joins the main section of the Hotel and in the form of the verandah roof extended from the main gabled roof over this wing.

The corresponding wing on the eastern side has only ground and first floors, the upper of which houses the main kitchen and dining room for the hotel. On the ground floor food service is via a number of serveries located on the eastern side.

From the north the workings of the hotel are revealed as a series of service and plant rooms facing a small service yard. The eastern side of the hotel has been upgraded with an outdoor area and a small enclosed beer garden at the northern end. The western side has a drive-through bottle shop built mid 1950’s on an additional allotment. It connects through to the rear street.

Although added to and altered internally several times *The Hotel’s* front core has the characteristic form of an Inter-War Free Classical hotel. The front of *The Hotel* is in generally sound condition and retains its classical attributes but common brickwork on the sides and particularly

the western side is in generally poor condition with numerous repairs to the sequential additions and moderate cracking and many accretions of services. In the past these elements were set well back and not prominent to view from the street. Originally the western façade was obscured by the adjoining two storey shop terrace at No 31 Everton Road. Nos 31 & 33 were acquired by Whelans around 1950 and the shop terrace at No 31 was demolished for the drive-bottle shop by the mid 1960's.



*Inset Above:
Fig 11a: Photo from Tooth's
"Yellow Card" 1949
showing No 33 Everton
Road on the western
boundary of The Hotel.*

Source: Noel Butlin Archives
Centre – Item 675 – Strathfield
Hotel - Card 4 Side 2

Figure 11: Detail view along western facade with numerous alterations, repairs & accretions:

- The western wing has layers of different bricks for each successive storey.
- Two arched windows have been removed possibly in the 1950's given the rendered surrounds that have been added.
- Windows change from six paned sashes at the front to two paned sashes and then single pane sashes towards the rear (first floor). Sill heights also change towards the rear
- Accretions include pipework, security bars & signage.

Source: Colin Israel – Heritage Advice 2016



Figure 12: Bottle Shop Drive-Through view towards street.
situated on allotment added *mid 1960s*.

Source: Colin Israel – Heritage Advice 2016



Figure 13: Drive Through bottle shop
shelving and refrigerators *C 1960's* as added to original
allotments. Source: Colin Israel – Heritage Advice 2016



Figure 14: Eastern End Elevation with arched window
in face brickwork. Original exposed pipework.

Source: Colin Israel – Heritage Advice 2015

2.5.3 Internal Description of Spaces

The ground floor interior has been subject to several reconfigurations and refitting. Some of the original fabric is evident including remnants of the original plaster ceiling in the main bar and some of the windows. The passage entry retains its front doorway and arched fanlight and an attractive stained-glass window. Other doors opening directly from the street are reproductions and the tiling to the façade at entry level is a sympathetic reconstruction of the style of tiling of its period but with altered colour scheme.

The Hotel now comprises several zones which are identified in the diagram in Figure 9 following. These correspond to segments of the 1926-8 reconstruction in which a new front was constructed, older portions in the middle gutted and rebuilt and two wings at the rear retained and adapted.



Source: Colin Israel –
Heritage Advice 2016

Figure 15: Public Bar as existing from Everton Road entries.
Plaster ceiling panels partially retained with cornice. Remainder altered C 2005.



Source: Colin Israel –
Heritage Advice 2016

Figure 16: Detailed view of Public Bar counter and tables.



Figure 17: View looking west in Bistro towards entrance lobby at far end. Interiors last altered C 2005
Source: Colin Israel – Heritage Advice 2016



Figure 18: Tiled entry passage view towards street entry with arched fanlight. **Now Proposed to be retained unaltered.**
Source: Colin Israel – Heritage Advice 2016



Figure 19: Entry passage view towards Saloon Bar doors with arched fanlight and original tiling and leadlight sashes. **Now Proposed to be retained unaltered.**
Source: Colin Israel – Heritage Advice 2016

2.5.4 Interior Condition

The interior of *The Hotel* is generally sound, well maintained and in reasonable condition. At the time of inspection no major structural defects were noted. There was no visible evidence of mould or termite activity. Some dampness is evident at the base of the eastern wall. The inspection was visual only and only non-intrusive methods were used for the investigation of the fabric. *The Hotel* was in use as a residence and features such as fireplaces and stone walls were evident.

2.5.5 Original interior features and alterations

A photo summary of interiors with original features follows.

Refer also Whelan's Strathfield Hotel DA – Photo Record produced May 2018.



Figure 20 Internal stair connecting first and second floors – guest accommodation levels.
Source: Colin Israel – Heritage Advice 2015



Figure 21: Second floor landing of internal stair guest accommodation.
Source: Colin Israel – Heritage Advice 2015



Figure 22: Plaster ceilings and indicative joinery: guest room.
Source: Colin Israel – Heritage Advice 2015



Figure 23: Dark stained double hung window architrave & frame - guest room.
Source: Colin Israel – Heritage Advice 2015



Figure 24: Original Main Stair – from First Floor. Intrusive Main Electrical Switchboard to be removed and original cornice repaired.



Figure 25: First Floor hallway to front rooms: Retain dark stained joinery; Apply fire rated panels to existing fanlights where required. Install sprinkler system where required.



Figure 26: Front room with spayed plan: Retain 12 foot plaster ceilings and original dark stained joinery. Install sprinkler system where required. Original spaces retained with minor alterations to décor.

Source: Colin Israel – Heritage Advice 2016 (24; 25 & 26)



Figure 27: Original Interior (restored) first floor room. Front section of Hotel. Retain original ceilings and dark stained joinery.



Figure 28: Original Interior (restored) first floor room. Side section of Hotel Core. Retain original ceilings and dark stained joinery.



Figure 30: First Floor front balcony – splayed plan.



Figure 29: First Floor Eastern Corridor with a pair of stained timber glazed doors & semi-circular fanlight (to former dining room) and hallway door with fanlight, picture rails and skirting on first floor of Hotel Core offset with plaster ceilings in white.

Source: Colin Israel –
Heritage Advice 2016
(27; 28, 29 & 30)

2.6 Views Outwards



*Figure 31: Panorama of Strathfield Station & Strathfield Centre from front balcony of Whelans Strathfield Hotel.
Source: Colin Israel – Heritage Advice 2016*

2.7 Views Inwards



*Figure 32: Panorama of Whelans Strathfield Hotel as seen from Platform 8 of Strathfield Station. (Raised viewpoint).
Source: Colin Israel – Heritage Advice 2016*



Figure 33: Everton Road Streetscape – View from bend on eastern approach showing “compressed” presentation of splayed façade of Whelans Strathfield Hotel.

Source: Colin Israel – Heritage Advice 2014



Figure 34: Everton Road Streetscape – View from western approach showing “expanded” presentation of splayed façade of Whelan’s Strathfield Hotel.

Source: Colin Israel – Heritage Advice 2014

3 DOCUMENTARY EVIDENCE

3.1 Pre-European History

The Strathfield district was once inhabited by the Wangal clan of the Darug tribe. Little remains of the former Aboriginal occupation of this area. The Wangal clan's country or territory was known as Wanne and it originally extended from the suburbs of Birchgrove and Balmain in the east, to Silverwater and Auburn in the west, the northern boundary was the Parramatta River, but the southern boundary is unknown.

The Wangal clan's neighbours were the Cadigal to the east, the Wategora to the west, the Wallumedegal to the north and the Bediagal to the south. All these clans of the Darug tribe spoke the coastal or Eora dialect of the Darug language. The Darug tribe's inland clans known as the 'woods tribes' spoke a different dialect.

The earliest recorded contact with Aborigines near Strathfield took place at Breakfast Point, Mortlake, on the southern bank of the Parramatta River. This encounter on the 5th February 1788 was noted in the diary of Lieutenant William Bradley RN thus:

'At daylight having a guard of marines proceeded to the upper part of the harbour again, passed several natives in the caves as we went up and on the shore near the place we left beads and some other things, who followed us along the rocks calling to us. We landed to cook our breakfast on the opposite shore to them. We made signs for them to come over and waved green boughs. Soon after seven of them came over in two canoes and landed near our boats. They left their spears in the canoes and came to us. We tied beads etc. about them and left them our fire to dress mussels which they went about as soon as we put off'.

Gider [1998] notes that Strathfield would have been an integral part of the Wangal clan's territory being close to the Parramatta River, a source of food. The Strathfield Municipality once supported large forests of eucalypt trees with many native grasses growing as a understorey as well as areas of very dense scrub. It is unlikely that the Wangal clan camped in the district as Strathfield does not have any rock shelters or overhangs suitable for camping, but they probably frequented the area to gather or hunt food.¹

3.2 Initial Settlement & Thomas Rowley's Grant²

The first land grants to free settlers in NSW. were made in the Strathfield area in 1793 in response to Governor Philip's request for the introduction of 'practical farmers' to the settlement. These settlers were Thomas Rose, aged 40, farmer from Blandford, his wife, Mrs. Jane Rose, and their children, Thomas, Mary, Joshua and Richard, also Elizabeth Fish, aged 18, related to the family.

¹ <https://www.strathfield.nsw.gov.au/council/about-strathfield/history-of-strathfield-local-government-area/aboriginal-history/>

² Adapted From: <https://www.strathfield.nsw.gov.au/council/about-strathfield/history-of-strathfield-local-government-area/european-settlement/>

Other members were 'Edward Powell, aged 30, farmer and fisherman from Lancaster, Thomas Webb and his wife gardener, Joseph Webb, aged 18, nephew of Thomas Webb, Frederick Meredith, baker, and Walter Brodie, blacksmith'. Some had visited Sydney as seamen before settling. The district in which these settlers' farms were situated became known as 'Liberty Plains'.

Powell and Thomas Webb first received 80 acres each, Meredith and J. Webb, 60 acres each and Rose and his family, 120 acres. All had their passages paid and were given tools and implements from public stores, 2 years provisions, 1 year of clothing, and the services of convicts assigned to them.

The settlement at Liberty Plains for agricultural purposes was immediately followed by a progressive settlement of the surrounding area. It was conveniently located midway between Sydney and Parramatta. Land immediately to the North (Concord) and North West (Abattoirs and its environs) was allotted to non-commissioned officers and privates of the NSW.

'Liberty Plains' settlers cleared and cultivated the land, but found its productive capacity was soon exhausted under cropping. Continuous clearing of the land was necessary for new crops and the cost of this reduced the farmers to a state of poverty. A Committee of Enquiry under Samuel Marsden and Surgeon Arndell decided to increase the holdings of the settlers in 1798. An additional 70 acres was granted to Rose and his sons, and 60 acres fronting Parramatta Road and Homebush Bay to Meredith.

The unproductive nature of the land forced some settlers to obtain employment elsewhere. Edward Powell entered the Public Service as a constable at the Hawkesbury River. Several grants were consolidated by figures such as Simeon Lord who became the grantee of 160 acres.

The land comprising the site of *The Hotel* was originally part of the grant to Captain Thomas Rowley of 260 acres in 1799 and he increased his Liberty Plains property in 1803 by adding the grant of Joseph Webb and the remainder of Rose's 120 acres. Following the first unsuccessful farming attempts, the area remained almost in a state of neglect until the return of Powell in 1807 to his original grants, which he again took up, in addition to the adjoining 80 acres formerly held by Thomas Webb.

3.2.1 Rail and subdivision³

The railway line through what is now known as Strathfield was opened in 1855. The first station known as Redmyre opened on 9th July, 1876. Initially it was a basic "halt" without platforms. Staggered side platforms followed in 1877 and it was upgraded to a station with parallel platforms in 1885 when the name was changed from Redmyre to Strathfield.

The number of platforms was increased from two to four and a subway built, one of the first on the NSW rail system. In 1891, a second subway was opened at the down end of the platform. The rail lines were quadrupled 1892 between Illawarra Junction and Homebush. Complaints arose when this affected the surrounding areas including Everton Road where the road levels were raised and the road realigned.⁴

³ Extracted from: <http://www.arhsnsw.com.au/lunchclubnotes/1206Strathfield.pdf>

⁴ Evening News – 21-03-1900 page 3

The first plan for buildings of the fourth and present station at were approved by Robert Ranken, the Engineer-in-Chief for Existing Lines on 11th May 1926. This included the construction of platform Nos. 5 and 6 and 7 and 8 with additional lines.

The new station was opened on 7th March 1927.



Figure 35: Expansion of Strathfield Station Circa Late 1920's

NLA

3.3 Property History

Details of the property transactions have their origins in Old Systems dealings which were not fully regularised in Torrens Certificates of Title until 1927. The parcel of allotments comprising the majority of the present site were created in Baptist's Estate subdivision of 1880. This survives in the Deposited Plan copied from the original in 1970⁵ to consolidate the many changes resulting from adjustments over several decades for "Railway Purposes". (Refer Figure 36 next page).

Information for prior dealings is contained in the Primary Application PA 28533 (revised 1927) which brought the title under the provisions of the Real Property Act of 1900 (Torrens Title). Dealings up to that date are summarised in the revised application and present a complex picture of arrangements that included ownership of the land comprising *The Hotel*; transfers of leases for *The Hotel* indicative of the Licensee's interest and Mortgages of both the property and the lease. Initially the property mortgage was to Arditto and subsequently to other sources of finance including Whelan family members and Tooth's Breweries.

⁵ Lands & Property Information DP (FP) 978482

7 STRENGTHS, WEAKNESSES, OPPORTUNITIES & CONSTRAINTS

7.1 Strengths

The strengths of the site are outlined in the following points:

- *The Hotel Core* is relatively intact particularly the First and Second Floors at the front containing bedrooms, front balconies, amenities and service areas.
- *The Main Bar, Side Terrace, Gaming rooms and Dining Areas* have been altered several times and retain only a general resemblance to the original main spaces. **Remnant of 1927 ceilings are retained as at present.**
- *The side entrance passage and private hotel entrance including main staircase* retain original details including tiling and arched leadlight windows **and are retained as existing.**
- *The ground floor frontage* has been sympathetically restored with retiling and reproduction doors retain the ambience of a traditional suburban hotel front. **Original semicircular fanlights are retained.**
- *The Hotel* is in relatively good condition
- Beer Garden setting to east of *The Hotel* is an altered but sympathetic element – brick gateway and grille have been retained.
- Front Façade is relatively intact - past changes including repairs are confined generally to side facades where there is a lesser quality of brickwork using common rather than face brickwork.
- Non-Core areas within the hotel are generally sympathetic and of moderate significance but lack the integrity of the Core areas particularly on the first and second floors. Some elements would justify salvage and re-use to restore core areas and fittings.
- Additions and alteration to the rear wings and service areas detract from the overall quality of the building but do not reduce the contribution to the Everton Road Streetscape as the design differentiates between the front and remainder in terms of materials and expression.

7.2 Weaknesses

The weaknesses of the site as existing are outlined in the following points:

- **Most recent BCA and Fire Safety Audit has identified the need for major upgrading including the addition of a sprinkler system.**
- **Addition of sprinklers throughout the existing hotel's accommodation would incur more than double the costs of sprinklers installed only in *The Hotel Core*.**
- **Rooms in the rear sections of The Hotel are substantially below contemporary standards and guests' expectations. They would not meet current standards for boarding house style accommodation, for instance.**
- Increasing maintenance costs & limited accommodation particularly in terms of the quality of hospitality and comfort afforded by smaller rooms with limited access to shared bathrooms.
- Tiled roof with multiple valleys and complex geometry has flashings, valleys etc subject to corrosion. Tiles require replacement. Flashings require repair or replacement.
- Requirement for continual maintenance in the form of minor repairs & damage from cracked brickwork and stucco on the façade.
- Continuing progressive repairs to common brickwork walling and components – repairs & replacement – have resulted in uneven patchwork of different brickwork and details.

7.3 Opportunities

The opportunities present in the site are outlined in the following points:

- *The Site* is sufficient to allow a major addition by means of an attached multi storied addition and podium to rear and sides of *The Hotel* with minimal interference to *The Hotel Core* façade, form and fabric of high significance on first and second stories.
- *Hotel Core* areas include concrete slab and beam floor to ground & first floors that permit economical adaptation in terms of fire separation **of the front of the Hotel, mainly above the Public Bar.**
- Preferred Option for contemporary hotel accommodation and additional residential development would be to build a separate multi storied structure connected to the rear of *The Hotel Core*.
 - This would quarantine changes to the most intact front *Hotel Core* rooms and the significant façade.
 - It would need to maintain sufficient side separation to allow the interpretation of the 1926-1927 Inter-War hotel form in its streetscape and townscape setting.
 - Materials and design would need to ensure articulation of any major addition to provide a suitably scaled backdrop to Hotel.
 - This would need to be moderated by application of finer grained details to maintain a mixed residential / commercial character that responds to the traditional expression of the retained hotel forms. (But not necessarily requiring use of brickwork per se).
 - Demolition of the intrusive Drive-In bottleshop, rear service yards and rear beer garden, together with previously altered side yards provides substantial areas for a major addition with sufficient setbacks to ensure retention of the streetscape presence of the hotel.
 - Opportunities may exist for using roof areas above a podium element to provide needed amenity for residents and hotel patrons in separate zones.

7.4 Constraints

The constraints present in the site are outlined in the following points:

- Requirement to retain front façade and setting within the Everton Road Streetscape.
- Compliance with the side setbacks and separation of any new building work to the North of *The Hotel Core*.
- Cost of maintenance to *Hotel Core* elements in future.

8 CONSERVATION APPROACH SUMMARY

The following summary is based on the document *Conservation Management Strategy (CMS) Part 2: Conservation Policy and Management sections* published by the NSW Heritage Office.

8.1 General Statement of Conservation Approach

Family Ownership has maintained the Hotel to a high standard of repairs and maintenance.

Inherent limitations to the configuration and number of guest rooms, bathrooms and guest areas and the lack of a passenger lift currently restrict the earning potential of this part of the hotels operations. The configuration and lack of vertical transport adds to housekeeping costs and outdated engineering services require extensive maintenance relative to the amenity provided.

Medium and long term viability would depend on the ability to provide a range of more highly serviced guest suites while retaining the 1926-1927 *Hotel Core* for its character and ambience. Development of outdated accommodation and augmenting hotel services with residential accommodation would ensure both current maintenance and upgrading of hotel accommodation is affordable and sustainable.

The current reliance on gaming as the major source of revenue exposes a vulnerability in the business model for the Hotel. Investment is required to diversify the sources of income if the Hotel is to remain viable in the future.

The recommended conservation strategy is to retain those parts of the Hotel that best embody the combined historical, aesthetic and streetscape values of the Inter-War 1926-1927 Hotel. This *Hotel Core* has inherent capacity for adaptation due to its use of reinforced concrete for major spans on the ground and first floors.

Retention of other parts is problematic in part due to the hybrid construction that retained external walls from the earlier 1890's hotel while constructing new floors, roofs and internal partitions on existing footings. It would be uneconomical and restrictive in terms of planning and construction for all of these areas to be reconstructed to meet current building codes.

This is particularly apparent from the most recent BCA and Fire Safety Audit. While the preferred protection involves a sprinkler system, the high cost of retrofitting this throughout the hybrid construction of the rear sections of the Hotel is more than double that of treating *The Hotel Core* and cannot be justified financially, given the minimal benefit that would result in terms of in terms of upgrading the accommodation. (See attached BCA Upgrade & Fire Safety Upgrading Cost Estimate by Napier & Blakeley. Attached).

8.2 Owner's or steward's requirements

The owner of the property wishes to redevelop the property retaining *The Hotel Core* as the heart of a revitalised Hotel business. The purpose is to diversify the income stream for the business through investment in the accommodation component of the business in response to changing financial and operating conditions, particularly with regard to the gaming component.

These have been examined in detail in the report prepared by V J Ryan & Co Services Pty Limited, Chartered Accountants. The report identifies vulnerability arising from over-reliance on gaming within the business model. Noting the likely effects of new regulation to this component VJR have concluded that:

“Although the Strathfield Hotel has remained profitable over the past 20 years, in our view it is necessary to recognise the vulnerable position the business is in as a result in shift in sales mix towards total reliance on gaming revenue.”

Based on our expert opinion the cost structure is tightly managed and there is appears little that can be done to boost materially the bar, bottle and food operations. Therefore in our view the only responsible action of the directors is to seek alternate revenue streams that fit in with the objectives stated in section 2.

On this basis it is our recommendation to proceed with the development as proposed.”

(The full report is included in the DA documentation for the project).

8.3 Burra Charter & Significance of Use

(Note: In this section, *Italics* signify terms as defined in the Burra Charter)

The heritage implication of the financial report is that continued viable operation of the Hotel in the near, medium and long terms requires a strategic investment without which the continued operation *as a Hotel* would be unlikely. Noting the inclusion in Burra Charter of the concept of “use” as an integral part of the significance of a place, loss of the original functions would have a marked impact on the cultural significance of *The Hotel* even if the building was retained.

Retention to any meaningful extent would likely require adaptation to a *compatible* use which may preserve several aspects of its significance but without preserving its original use. In the case of a building with high potential social significance, loss of its original *use* would also mean loss of much, if not all of its *social value*.

Retention of the *use* of Whelans Strathfield Hotel is considered to be an important consideration in the conservation of its cultural significance.

The relevant Burra Charter Definitions and Articles are excerpted below:

Article 1. Definitions

1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, records, *related places* and *related objects*. Places may have a range of values for different individuals or groups.

1.10 *Use* means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

Article 7. Use

8.1 Where the *use* of a *place* is of *cultural significance* it should be retained.

8.2 A *place* should have a *compatible use*.

Impacts of this proposal are assessed in Part 3 of this report. *The Hotel Core* is to be linked to the Major addition maintaining separation and includes additional hotel suites over two levels to augment the retained rooms and suites of *The Hotel Core*.

8.4 What are the items/fabric that must be conserved?

Based on the historic and physical analysis, the various parts of the present hotel buildings have been graded in terms of their significance. The conservation management strategy recommended is for preservation of the frontage and *The Hotel Core* of the 1928 building which retains in its fabric historical, aesthetic and social significance. This strategy involves retention of areas of highest heritage values while permitting demolition of much altered rear and peripheral parts. These include:

- Front Facade
- Hotel Core – Ground Floor
- Hotel Core - First & Second Floors
- Hotel Core – E & W Side Elevations

See Gradings of Significance & the [A3 Reference Set of Drawings](#).

8.5 What are the elements / fabric that can be altered?

Areas that have been previously altered (generally those identified as being intrusive or of low significance, and some areas of moderate significance) may be altered if required in a sympathetic way. These areas include

Large alterations, major additions or additional structures should be located to the rear of *The Hotel* and have minimal impacts on views of *The Hotel* from the street or from the Strathfield Station Group.

The original face brickwork hotel façade facing Everton Road is of high heritage significance and is to be conserved.

Secondary rear wings, plant rooms, service yards and drive though bottle shop may be modified, demolished or replaced as necessary providing there are minimal impacts on views of *The Hotel* from Everton Road.

Replacement should be in materials compatible with existing that provide a suitable visual backdrop for the retained *Hotel Core* using a mixture of rendered masonry, brickwork, concrete, glass and metal elements.

8.6 Archaeological material

The Site is not identified or listed as a known or potential archaeological site in Burwood Draft LEP 2013. The conservation works proposed will require excavation of the northern end of the site. Normal monitoring should be observed in accordance with requirements of NSW Heritage Act 1977.

8.7 Who should receive copies of this document?

Copies of this document and all attachments are to be retained by the owner, Burwood Council and Heritage Advice. Council may, at its discretion issue a copy to Burwood District Historical Association.

8.8 Review

This plan should be reviewed every ten years, in consultation with the local Heritage Adviser or when any DA affecting the item is proposed.

8.9 Policies for the Curtilage and Setting

Retain and enhance the immediate front facade setting of The Hotel.

The front façade and streetscape presentation of *The Hotel* is an essential feature. The setting can be enhanced by ensuring new development has adequate setbacks to new larger scale development. This would include maintaining single storied retail elements on two allotments to the west and the existing beer garden area to the east of *The Hotel Core*. Roof terraces at first floor level may assist by incorporation of garden forms and plants to emphasize the separation provided by setbacks to new and existing larger scale development.

Burra Charter Article 8: Setting

Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place. New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

8.10 Policies for the Fabric

Conserve significant original and / or 1926 - 27 fabric

Identified sympathetic features of the setting should be conserved.

These are generally as listed in 6.3 Gradings – Hotel Core & Non-Core Areas (Table) **and shown in the A3 Reference Set of Drawings.**

Policies for Fabric identified as Intrusive

Fabric identified as intrusive can be further altered or removed.

Alterations and new work should be sympathetic to the character of *The Hotel Core*.

8.11 Policies for development

Development Potential of site

Potential exists for Major Additions alterations or additions to the rear of the property as identified in the Opportunities for *The Hotel*. Any new additions to the rear of the site whether attached or separate are to be subservient in character to the original hotel and should form a suitably restrained backdrop to *The Hotel Core* in public views of the item from Everton Road.

9 SCHEDULE OF WORKS

Proposed works integral with the Proposed DA:

These works are intended to reinstate missing components, allow for repair of damaged internal and external fabric, and allow planning for continuing maintenance and expected long term expenses which will arise as part of the long term care of the item.

The Burra Charter definitions of the following words apply throughout this report and are used here to distinguish between the different types of work proposed.¹⁷

9.1 Works Required in conjunction with Proposed DA

These works are to take place in conjunction with the proposed redevelopment.

These works relate mainly to retaining the heritage value of *The Hotel Core* and are mostly external. They include repair of damage, removal of additions and reinstatement of missing elements as well as landscaping.

9.1.1 Summary Schedule of Works – Building Fabric, Structure, Fittings

Table 2: Schedule of Hotel Core Building Works - Redevelopment DA – Building, Fabric, Structure, Fittings

ELEMENT DESCRIPTION	CLEAN	INSPECT / REPORT	MAINTAIN / REPLACE	TEST / CERTIFY	CONSERVE / INTERPRET	NEW WORK	WORK	NOTES
Paint Schedule					X	X	Apply and Maintain external paint scheme as per Attachment A based on analysis of sympathetic colours for Inter-War Period and Free Classical style.	Where Required in conjunction with new construction; then every 5 Years.
Roof	X	X	X			X	Inspect gutters & downpipes, clear out. Repair/Replace any deteriorated elements such as valleys, flashing, gutters, downpipes or other roof elements. Replace tile with matching pattern, colour and finish to existing tiles.	In conjunction with new development; then every 6 months
Hotel Core Interiors			X			X	Maintain existing hotel décor including dark stained timber joinery to retained First and Second Storey hotel rooms. Rooms adapted or refurbished as bathrooms to be designed to include period tiled wall and floor finishes of Inter-War character.	As documented in proposed DA addition documents.
Salvaged and New Elements						X	Existing joinery is to be salvaged and re-installed in an interpretive manner within <i>The Hotel Core</i> including: First Floor Dining Room Doors. First Floor Dining Room Leadlight Windows New lifts within <i>The Hotel Core</i> are to be integrated in terms of design and detail to be sympathetic additions to <i>The Hotel Core's</i> décor.	

¹⁷ The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 1999

ELEMENT DESCRIPTION	CLEAN	INSPECT / REPORT	MAINTAIN / REPLACE	TEST / CERTIFY	CONSERVE / INTERPRET	NEW WORK	WORK	NOTES
Front Balconies			X			X	Inspect & Repair any damaged paving, balustrade or external windows and doors to balconies. Provide Low Reflectance glazed balustrade behind existing moulded cement balustrades to required code height.	In conjunction with proposed DA additions.
Building Systems Services		X		X		X	Building systems upgrading (fire sprinkler, smoke alarms, burglar alarms, electrical, water and gas systems) are to be integrated in accordance with sound heritage practice. IE Concealed in areas of Low significance or in previously altered areas.	
Brickwork Cleaning Repairs & Repointing					X	X	Façade face brickwork is not to be painted but may be cleaned using non-destructive low pressure washing. Common brickwork to eastern and western elevation of Hotel Core may be treated with applied finishes to provide an even appearance after removal of accretions and effecting repairs. Repoint and repair brickwork using mortar to traditional mixes, matching the colour & strength of existing mortar to suit brickwork.	

Part 3. Statement of Heritage Impact

10 STATEMENT OF HERITAGE IMPACT

27-33 EVERTON ROAD

STRATHFIELD NSW 2219

10.1 Statement of heritage impact for:

[Name of heritage item, item within a conservation area or site in the vicinity of a heritage item.]

27-33 Everton Road Strathfield, a three-storey Interwar Inter-War Free Classical hotel with rear additions. *The Site* is listed as a local heritage item in Schedule 5 of Draft Burwood LEP 2013. *The Site* is not located within a conservation area but is situated opposite the Strathfield Station Group which is listed as a State heritage Item.

10.2 This statement forms part of the statement of environmental effects for:

[A brief description of proposal.]

Major Addition to rear of The Hotel, linked to form hotel & residential apartment building. Includes Demolition of parts of the Hotel with Repairs & Conservation as required.

10.3 Reference:

[Reference number/s for the heritage item and/or conservation area (name the area), taken from LEP or REP schedule, or heritage study inventory.]

Burwood LEP 2012 Schedule 5 Part 1 – Local Heritage Items

Suburb	Item name	Address	Property description	Significance	Item No.
Strathfield	Whelans Strathfield Hotel	27-33 Everton Road	(Lots 26-30 Section 1 DP 978482 and Lot 2 DP 303721; Lot 32 DP 920734)	Local	194

10.4 Address and property description:

[of heritage item, item within a conservation area or site in the vicinity of a heritage item.]

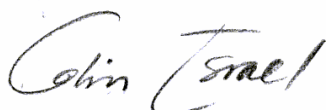
Lots 26-30 Section 1 DP 978482 and Lot 2 DP 303721; Lot 32 DP 920734

10.5 For:

[Name of client or owner, where manager or owner]

Whelans Strathfield Hotel Owners

10.6 Prepared by:



Colin Israel,
Principal Heritage Consultant – Heritage Advice
Date: 6 August 2018

11 SUMMARY STATEMENT OF HERITAGE IMPACTS

11.1 The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

The construction of a new integrated hotel and residential development linked to the retained Hotel Core will enhance the viability of Whelans Strathfield Hotel and ensure future conservation of the significant 1926-27 *Hotel Core*. At present its use is constrained by the restricted number of shared bathrooms for the majority of guest rooms.

The new alterations and additions are sympathetic to the heritage item as they are outside and separate from *The Hotel Core* and located well to the rear of the significant 1926-1927 front sections of *The Hotel*.

The proposal allows for essential conservation work and upgrading to the retained Hotel Core which would be separated from surrounding development by substantial setbacks at the ground and first floor levels. *The Hotel Core* is effectively quarantined from the proposed major addition and connected only with a two storey glass link situated to the rear of *The Hotel Core*.

The proposed redevelopment will remove several older and intrusive elements including:

- 1950's Drive Through Bottle Shop
- Rear service yards
- Altered existing shop terrace
- Altered **patchwork** of rear two and three storey wings to rear.
- Extensive accretions of services and repairs to western façade of *Hotel Core*.
- **Previously altered ground floor openings on the eastern side of the hotel.**

The proposed new residential and hotel building to the rear is a well composed and articulated low rise of eight stories comprising studio, 1 and 2 bedroom apartments including new hotel suites on two levels and basement car parking. The scale of the articulated sections reflects the massing of *The Hotel Core* façade using simple contemporary detailing and a sympathetic colour treatment. **The lower floors of the new rear building have been redesigned to use brickwork to interpret their function as Hotel rooms and reinforce the immediate setting of *The Hotel Core* within the streetscape and townscape contexts.**

This would provide a sympathetic backdrop **to** *The Hotel Core* and would reinforce the prime presentation of the retained Hotel Core with substantial side setbacks comprising the existing beer garden on the east and a landscaped roof terrace above two retail shops on the western side. These shops reflect the original subdivision pattern at the time of the first hotel on the site built by Ardito in the early 1890's and **the separation is expressed in a setback from the western side of the Hotel which acts as the ramped entry to the apartment lobby.**

Following comments from Council, the architects have incorporated additional articulation including stepping-down towards the western boundary. The FSR has also been adjusted to comply with the relevant controls.

Other comments have been addressed in the amended documents as follows: •

Relocation of the residential entrance to outside the historic hotel building therefore not requiring modification of the original 1928 reasonably intact entrance lobby.

- Provision of an open area alongside the western side of the hotel building (approx. 2m-2.2m wide), which better exposes this side to public view and allows visibility of the 1928 arched window.
- Splayed corner to the retail space, and an awning which is separate from the hotel building.
- Provision of a brick on lower levels of the new development which better responds to the materiality of the hotel, creates a brick podium which relates to the hotel.
- Access is shown from the existing Level 1 of the hotel to the proposed hotel garden.
- Retaining an additional section (approx. 2m - 2.5m) of the hotel's western wall which include?? CI

The redevelopment ensures the continuation of Whelans Strathfield Hotel on this site as a hotel since its first major redevelopment in 1926-27 including its historical associations and potential social significance.

The generally intact Everton Road front elevation and original east and western side elevations as altered C 1925-1927 of *The Hotel Core* are to be retained substantially as found. Treatment of the brickwork would be undertaken to remove external services and accretions including signage. This will retain significant views of the property as seen from the eastern and western approaches along Everton Road and from the Strathfield Station Group State Heritage Item.

Views of the new apartment development to the rear of *The Hotel Core* from Strathfield Centre are restricted by the width of the Station Group and by the retention of *The Hotel Core* as the dominant design element in the Everton Road streetscape. Its local landmark qualities as an Inter-War façade would be enhanced by the single storey scale of the commercial component on the western side, balanced by the beer garden entry on the east.

The principal views of the item from Everton Road are not obstructed in any way by the proposed development. The change in the views from Cowdrey Lane are not considered to be significant as this has always been the rear service side of the hotel item cluttered over the years with various intrusive additions.

The development will assist the property owners to continue to maintain *The Hotel* as a viable heritage listed property to the current high standard by reducing the intensity of occupation in the original guest rooms while retaining the numbers of guest rooms in the Hotel overall. Public areas of the hotel would also be upgraded and the proposed residential component would add to the available stock of affordable housing options in the area.

A schedule of works has been outlined as part of the Conservation Management Strategy for the site comprising Parts 1 & 2 of this Report. Works mainly comprising brickwork cleaning and repairs to the Everton Road façade together with selected salvage and substantial retention of the existing guest rooms on the first and second stories of *The Hotel Core*.

The existing drive through bottle shop, altered rear service wings and service yards and garage are proposed for demolition.

The existing TAB tenancy was originally the Parlour Lounge. This has been designated as the location for and interpretive display, accessible as an entry directly from Everton Road.

Interpretation materials would include:

- Whelan Family historic photo currently displayed in the entry to the Bistro Bar
- High resolution scans of original drawings sourced from NSW State Archives and included as excerpts in this report.
- Selected salvaged joinery elements integrated with the display.
- Newspaper and Advertising signage & photos from Noel Butlin Archives (Tooths Collection)
- Selected Land Titles – Cancelled Certificates
- Interpretive Text

11.2 The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

Based on the assessment as conducted in the Conservation Management Strategy for *The Hotel*, the proposed *Alterations* entailed in this development are acceptable in term of their measured impacts on significant fabric. The most viable and significant portions of the existing hotel have been designated as the “Hotel Core” on the basis of fabric and documentary analysis in the Conservation Management Strategy.

These areas are identified as being those built in 1926-27 to the design of Eric Pitt as the new front to the hotel. The remainder contained remnants of the previous structure but was substantially demolished and rebuilt due to the staging of the reconstruction works. The proposed redevelopment would ensure essential upgrading while providing a sound business basis to secure the future conservation of *The Hotel*.

11.3 The following sympathetic solutions have been considered and discounted for the following reasons:

Initial schemes have been developed over the design period to incorporate findings of this Conservation Management Strategy. The proposal has been refined to provide functional and visual separation of the retained *Hotel Core* from the proposed and surrounding development to ensure that the heritage item retains its primacy within the Everton Road streetscape hierarchy and presents minimal changes to the setting to the Strathfield Station Group State Heritage Item.

Development of a separate building linked to the rear of *The Hotel Core* is considered as the most desirable form of development for *The Hotel* and would provide a suitable backdrop to the item and would not detract from the aesthetic contribution of its Inter-War Free Classical character.

The proposed development is in accordance with the Statement of Significance and developed conservation policies contained in Parts 1 & 2 of this Report and which form the Conservation Management Strategy for Whelans Strathfield Hotel.

HERITAGE IMPACT ANALYSIS

11.4 Statement of Heritage Significance for Whelans Strathfield Hotel

The following information shown in *italics* follows from the Assessment of Significance in Section 5 Above.

Summary Statement of Significance:

The first hotel on this site was built about 1890 by Angelo Arditto. Purchased by the Whelan Family in 1920, it was rebuilt as Whelans Strathfield Hotel (The Hotel) in 1926-1927. From 1920 The Hotel was owned by members of the Whelan Family. It has been in continuous operation since, overlooking the Strathfield Station Group, itself rebuilt in 1927.

The site and Arditto's Family Hotel are associated with Angelo Arditto and The Hotel with the Whelan Family. The Hotel of 1926-1927 is also associated with architect Eric C Pitt of the partnership of Pitt & Morrow Architects. Its complex staged construction was carried out by master builder Max Cooper under Pitt's supervision.

It is particularly associated with its founders John Michael Whelan and his brother Andrew Joseph Whelan. Its survival is due to the women of the Whelan Family whose stewardship and hard work ensured its continuance as Whelans Strathfield Hotel.

The Hotel Core is significant as a prominent and imposing Inter-War Free Classical Style building that retains its brick and stucco façade and upper floor guest rooms in a highly intact state. The remainder of The Hotel is sympathetic in parts but overall lacks the aesthetic values of The Hotel Core due to lack of integrity through sequential alterations and additions.

Later structures on the site to the sides and rear including the drive through bottle shop, beer garden, ground floor additions and fit-outs, service yards & plant rooms are intrusive.

The Hotel façade retains a prominent parapet and roof line that is visible in the Everton Road streetscape and from the south within the Strathfield townscape. It has values as a local landmark visible within the streetscape and from the Strathfield Centre to the south.

Alterations make this incomplete as a representative example apart from The Hotel Core which is a representative Inter-War Free Classical Hotel façade and contains intact upper floor interiors. These provide a coherent and meaningful sample of the character of The Hotel as an example of Inter-War Free Classical design.

The Hotel Core at 27-33 Everton Road is significant as an example of a modified hotel undertaken in the Free Classical style during the Inter-War period.

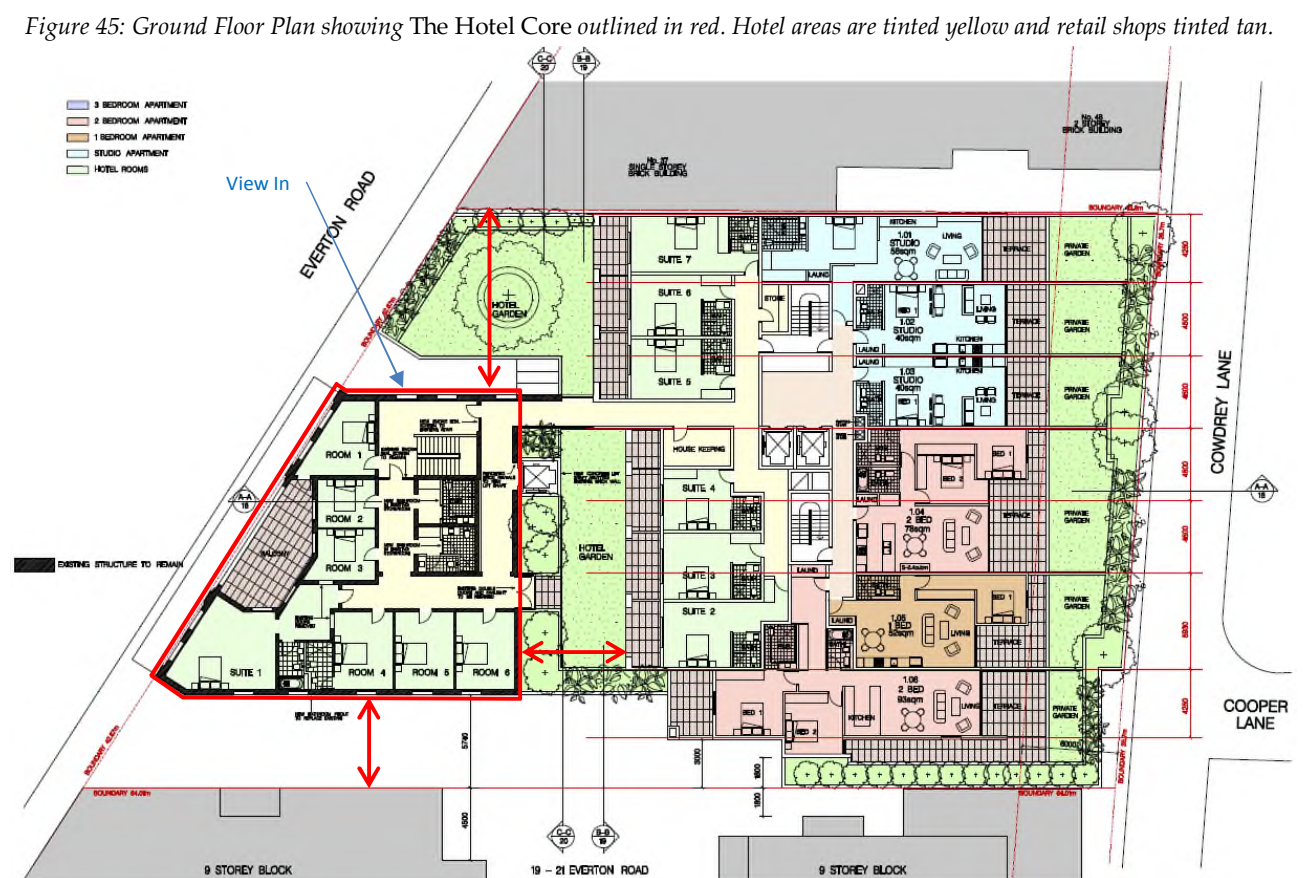
11.5 Proposed Major Addition

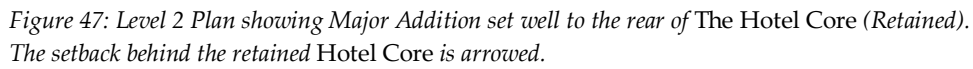
The proposed development is for a Major Addition to the rear of *The Hotel*.

This comprises a podium with an eight storey residential building including two levels of hotel suites connected by a bridge to the retained heritage component comprising *The Hotel Core*.

The western side has additional hotel services replacing the drive through bottle shop and another shop building now incorporated into the overall site.

The residential addition is linked to the rear of the existing *Hotel*. It is set back behind the line of the main building form of *The Hotel Core* and is separated by a roof terrace providing a context for *The Hotel Core*. The multi-storey residential / hotel building rises behind *The Hotel Core* which remains the primary building identity on the Everton Road frontage. It is integrated in scale with the approved development to the east of a similar podium and tower structure.





12 REQUIRED QUESTIONS FOR A STATEMENT OF HERITAGE IMPACTS

12.1 New development adjacent to a heritage item (including additional and dual occupancies)

12.1.1 How is the impact of the new development on the heritage significance of the item or area to be minimised?

The new development will be located to the rear of the heritage item with physical separation from the retained *Hotel Core*. The scale of the new development is in accordance with controls and similar to the approved development to the east. There is deliberate and appropriate separation from *The Hotel Core* including side separation to neighbouring properties within the streetscape context. The podium element provides for integration of the tower with the retained form and streetscape character of *The Hotel Core*. The tower element is articulated to reflect the bayed forms of the hotel and forms a recessive backdrop to *The Hotel Core* in terms of character as reflected in the detailing. The articulated sections of the proposed residential building reduce the apparent scale. The skyline presentation of the proposed development is also modulated to reinforce the articulation of the plan. The New building is simple in detailing and sympathetic to the character of the item which would be favourably offset against the repetitive expression of the apartments behind.

In response to Council's comments the following design changes have been implemented:

- Relocation of the residential entrance to outside the historic hotel building therefore not requiring modification of the original 1928 reasonably intact entrance lobby.
- Provision of an open area alongside the western side of the hotel building (approx. 2m!2.2m wide), which better exposes this side to public view and allows visibility of the 1928 arched window.
- Splayed corner to the retail space, and an awning which is separate from the hotel building.
- Provision of a brick on lower levels of the new development which better responds to the materiality of the hotel, creates a brick podium which relates to the hotel.
- Access is shown from the existing Level 1 of the hotel to the proposed hotel garden.

12.1.2 Why is the new development required to be adjacent to a heritage item?

The development will assist the property owner to continue to maintain this heritage listed property to the current standard by ensuring its viability as a hotel into the future to provide a sound basis for management and care of the heritage item.

12.1.3 Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?

The Hotel is not identified as being of known or potential archaeological significance by Burwood Council. Should any artefacts be uncovered during the course of the works, work should cease and the Heritage Branch be notified as required under the Heritage Act 1977.

12.1.4 How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?

The proposal will retain the existing side separation on the eastern side (beer garden) and provide a similar visual separation on the western side with a roof terrace over the new retail shops. This effectively provides a visual curtilage zone in the setbacks around the retained *Hotel Core*.



Figure 48: **INITIAL DA PROPOSAL** Streetscape view from southern side of Everton Road showing façade of The Hotel Core's façade and parapet. The design provides for generous side setbacks to retain the prominence of The Hotel within the Everton Road Streetscape as indicated by the red outline and setback arrows. Building indicated to the right represents approved DA for Nos 19-21 Everton Road.
Source: ARC Architects DA Drawings – Outline Added Colin Israel- Heritage Advice



Figure 49: **REVISED DA** Streetscape view from southern side of Everton Road showing façade of The Hotel Core's façade and parapet. Western side now steps down towards boundary, base of residential building treated with brickwork as a visual key with Hotel Core.

The base of the Apartment building is now clad in brickwork to provide a visual key to the retained Hotel Core and to express its continuation its function as guest accommodation for The Hotel.

The entry to the Apartment building is now via an uncovered passage along the western side of The Hotel and the shopfront is splayed to increase the view lines along this gap to the arched window.

The design provides for generous side setbacks to retain the prominence of The Hotel within the Everton Road Streetscape as indicated by the red outline and setback arrows. The western side of the Apartment Building is stepped down towards the boundary, reducing FSR and providing a transition with potential future development to the west. Building indicated to the right represents approved DA for Nos 19-21 Everton Road.

Source: ARC Architects DA Drawings: Outlines Added Colin Israel- Heritage Advice

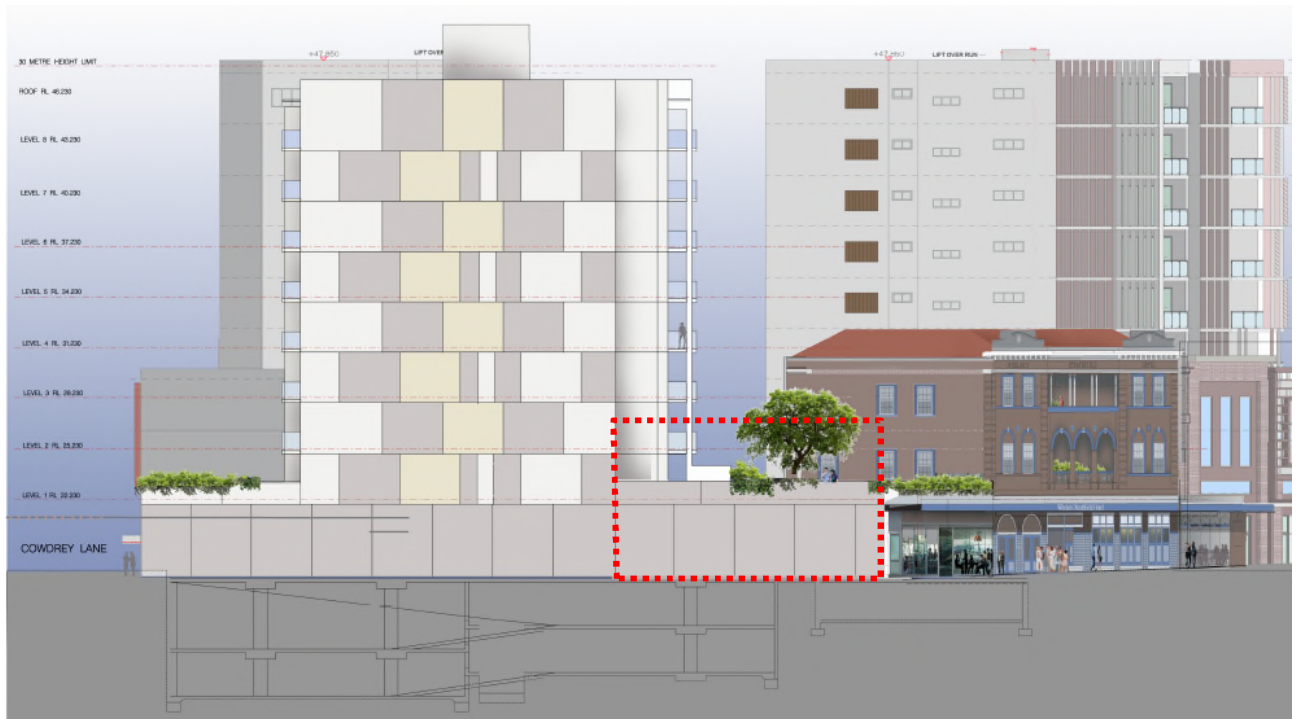


Figure 50: **INITIAL DA PROPOSAL** Streetscape western side elevation view from Everton Road in vicinity of roundabout. Dotted line shows the increased visibility resulting from demolition of existing properties at Nos 31 & 33 Everton Road. Varied treatment of western side cladding of the new building reduces apparent mass & scale.

Source: ARC Architects DA Drawings – Outline Added Colin Israel- Heritage Advice

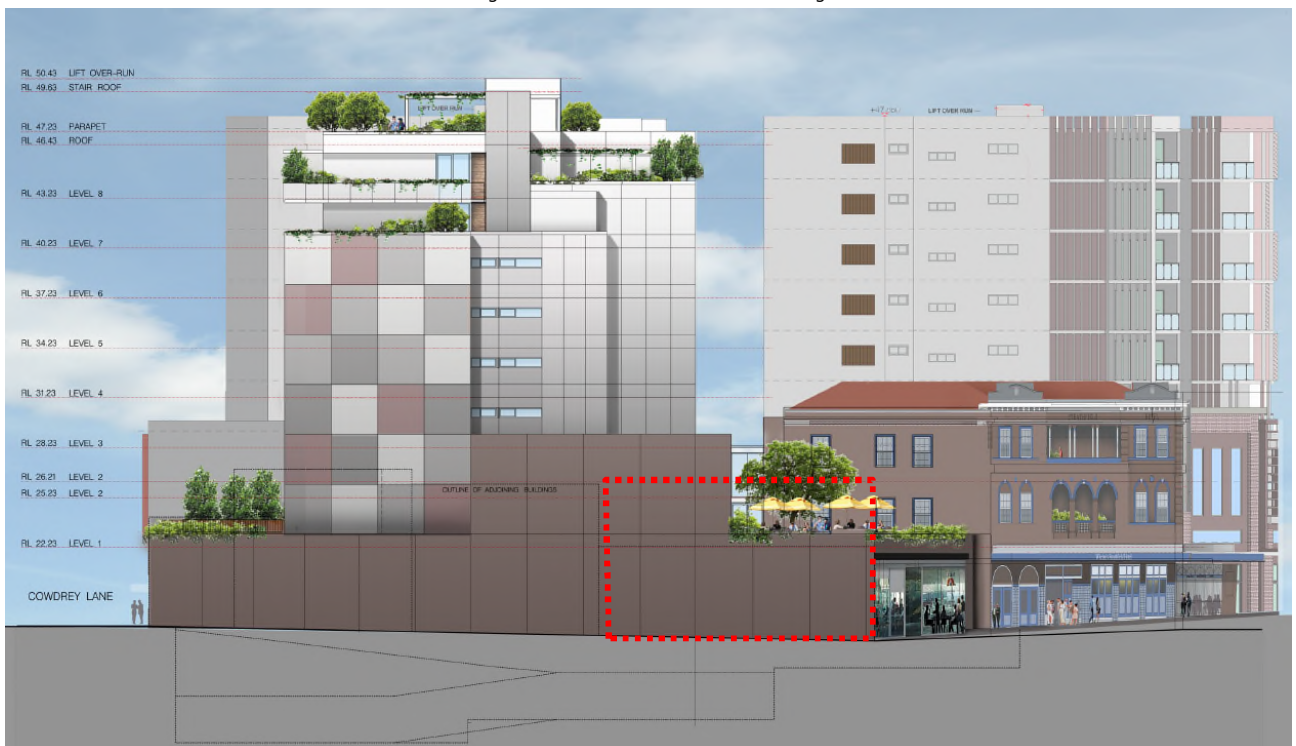


Figure 51: **REVISED DA** Streetscape western side elevation view from Everton Road in vicinity of roundabout. Dotted line shows the increased visibility resulting from demolition of existing properties at Nos 31 & 33 Everton Road. **Stepped articulation and varied** treatment of western side cladding of the new building reduces apparent mass & scale.

Source: ARC Architects DA Drawings – Outline Added Colin Israel- Heritage Advice



Figure 52: “Normal” Projection of angled Streetscape front elevation (Revised DA) from Everton Road showing the relative scale and prominence of the Major Addition relative to the Hotel. The Major Addition is of compatible materials in darker hues to ensure a recessive presentation relative to the Hotel. The lower floors of the rear building have been redesigned with face brickwork as a visual key to The Hotel Core.

The entry to the Apartment building is now via an uncovered passage along the western side of The Hotel and the shopfront is splayed to increase the view lines along this gap to the arched window.

Source: ARC Architects DA Drawings – Indicative texture added Colin Israel- Heritage Advice

12.1.5 How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?

The generally intact Everton Road front elevation and original east and western side elevations of *The Hotel Core* are to be retained substantially unaltered. This will retain significant views of the property as seen from the eastern and western approaches along Everton Road and from the Strathfield Station Group State Heritage Item.

Views of the new development to the rear from Strathfield Centre are restricted by the width of the Station Group and by the retention of *The Hotel Core* as the dominant design element in the Everton Road streetscape. The principal views of the item from Everton Road are not obstructed in any way by the proposed development.

The change in the views from Cowdrey Lane are not considered to be significant as this has always been the rear service side of the hotel item cluttered over the years with various intrusive additions.

12.1.6 Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?

The new development is sympathetic to the significance of the heritage item.

A schedule of works has been prepared as part of the Conservation Management Strategy for *The Hotel*. The scale is appropriate being contained within present envelope of *The Hotel*.

12.1.7 Will the additions visually dominate the heritage item? How has this been minimised?

The proposed major additions are substantial in extent.

To mitigate potential impacts the potential of *The Hotel* has been exploited as followings:

- The proposed Major Addition is situated well to the rear of *The Hotel*.
- The proposal has been designed to be recessive in character relative to the heritage item.
- This is achieved by use of complementary materials, forms and articulation that contrasts favourably with the more prominent and highly decorated and modelled façade of *The Hotel Core*.
- The majority of the Major Addition is screened from direct view from Everton Road by *The Hotel* itself.
- The Hotel is screened from most of the Strathfield Station Group platforms. Parts of Platform 8 provide a direct view of the Hotel façade but from a lower level. The impact of the apartment component proposed to the rear of the Hotel is therefore less apparent.

The result is that the heritage item will remain the dominant element of the Everton Road streetscape with little or no impacts resulting from the proposed redevelopment to the rear.

12.1.8 Will the public, and users of the item, still be able to view and appreciate its significance?

Yes. Public views of *The Hotel* will not be restricted to any degree. The proposed redevelopment will provide new perspectives for understanding the retained Hotel Core while retaining the essential views inwards and outwards including from the upstairs front balconies.

Public appreciation will be further improved in the public areas of the hotel including from the first floor roof terrace. Removal of accretions and conservation work in cleaning and repairs to *The Hotel Core* will also ensure there is no loss of appreciation from guests, patrons and visitors.

CONCLUSIONS AND RECOMMENDATIONS ARE CONTAINED IN THE SUMMARY STATEMENT LOCATED ON PAGE 53 & 54 OF THIS COMBINED REPORT.

13 ATTACHMENTS A: VARIOUS REPORTS- SEE SEPARATE DA ATTACHMENTS

13.1 V.J.Ryan & Co Chartered Accountants - Financial Viability Report

See Separate DA attachments.

13.2 Napier & Blakeley Pty Ltd – BCA Upgrade Cost Estimate

See Separate DA attachments.

13.3 BCA Logic – Building Regulation, BCA, Fire, Access and Energy Consultants – Fire & Life Safety Audit

See Separate DA attachments.

14 ATTACHMENTS B: A3 REFERENCE DRAWINGS: LIST

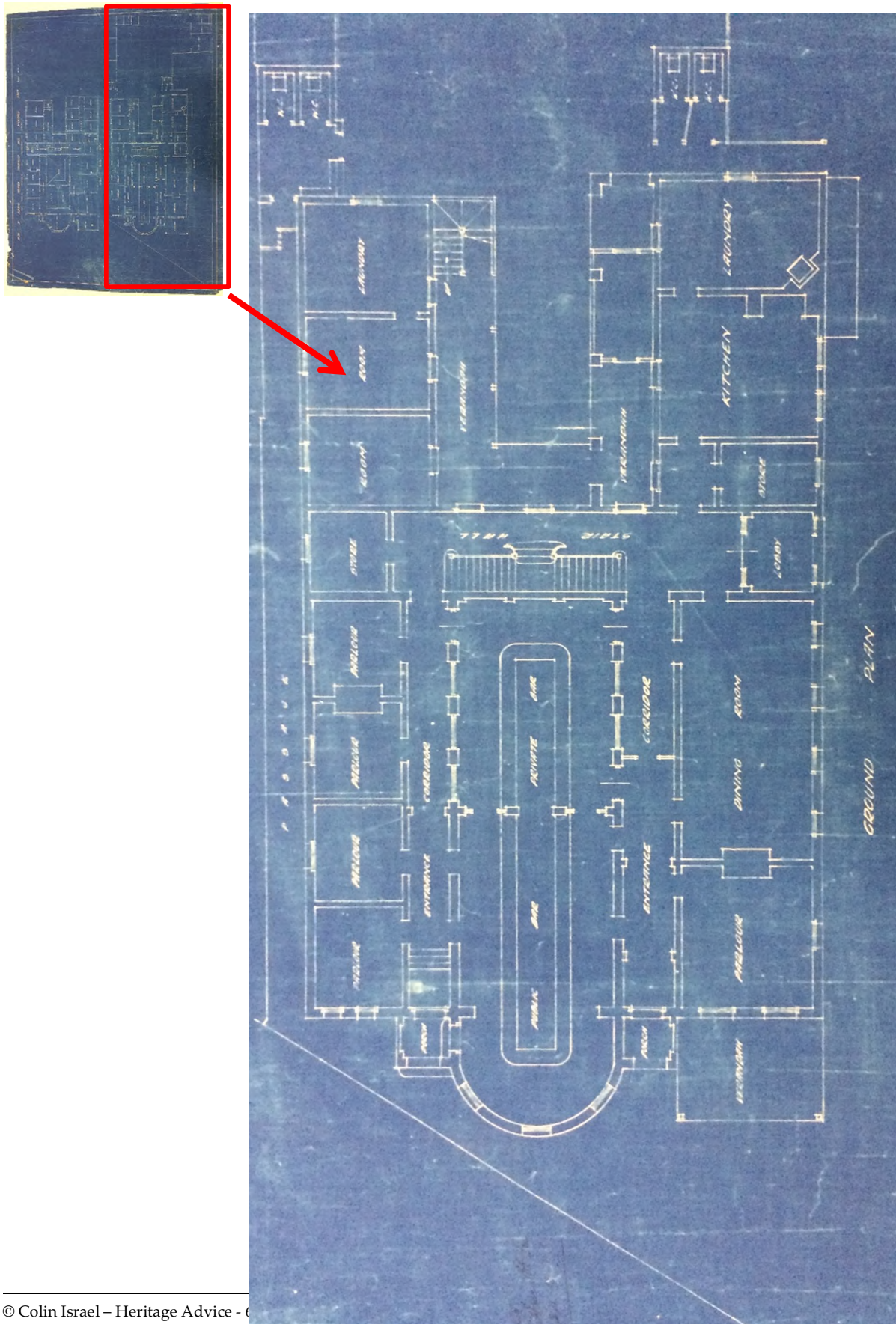
14.1 SCHEDULE OF CONSERVATION WORKS - LIST

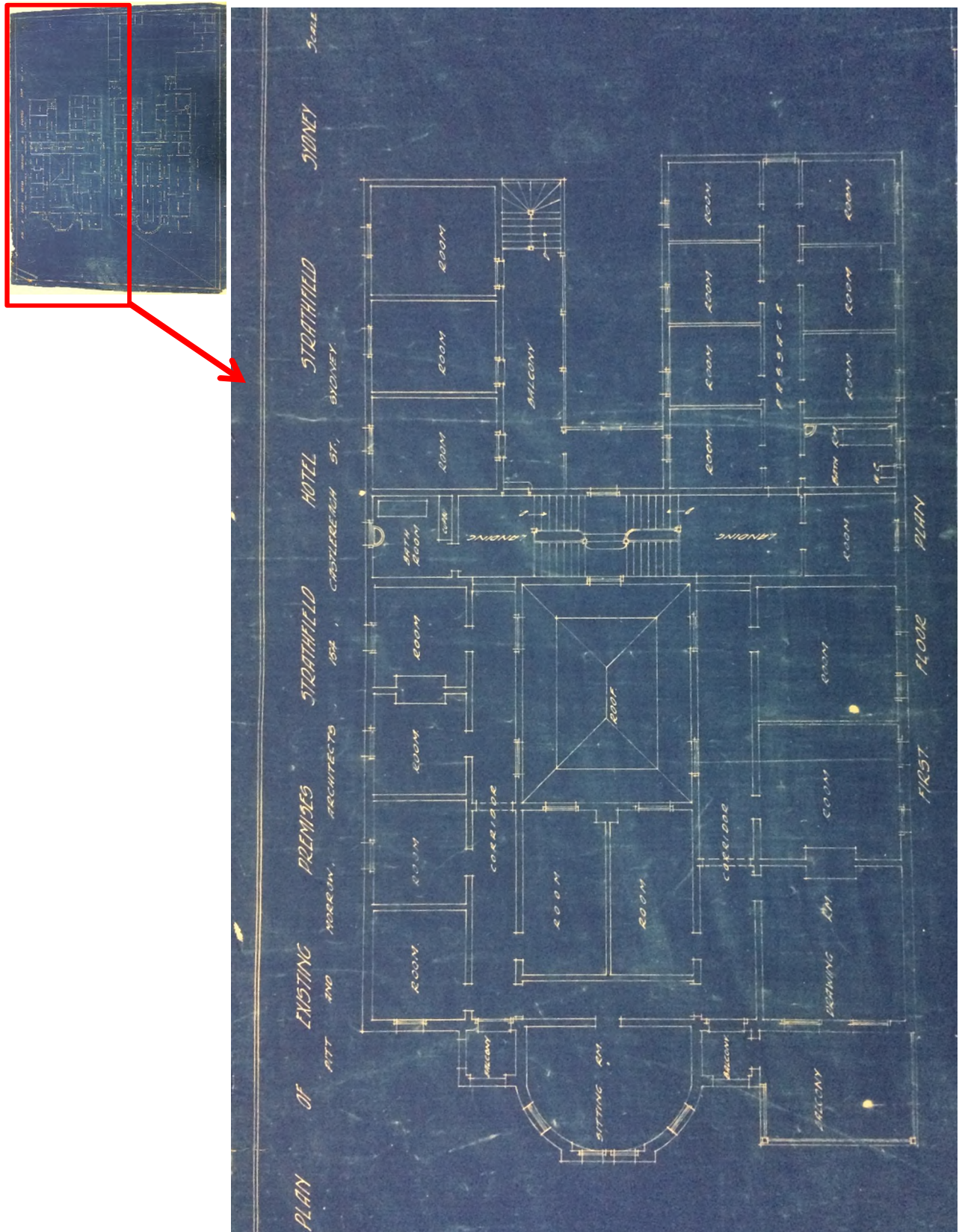
- 14.1.1 COVER SHEET – CONSOLIDATED SCHEDULE & SPECIFICATION NOTES
- 14.1.2 GROUND FLOOR – CONSERVATION WORKS
- 14.1.3 GROUND FLOOR – DEMOLITION PLAN
- 14.1.4 FIRST FLOOR – CONSERVATION WORKS
- 14.1.5 FIRST FLOOR – DEMOLITION PLAN
- 14.1.6 SECOND FLOOR – CONSERVATION WORKS
- 14.1.7 SECOND FLOOR – DEMOLITION PLAN
- 14.1.8 SCHEDULE OF CONSERVATION WORKS & SPECIFICATIONS

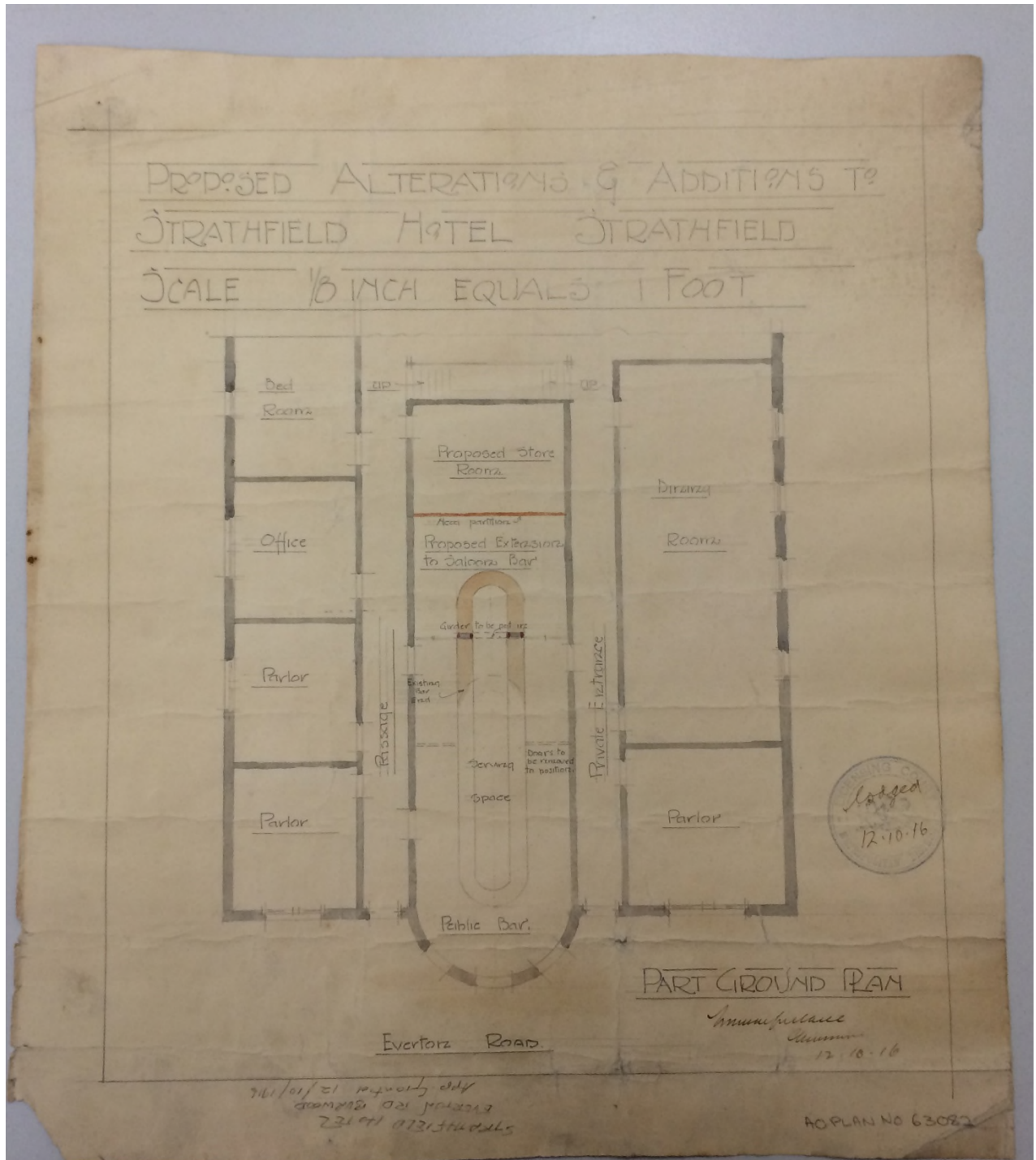
14.2 HISTORICAL PLANS & PHOTOS - LIST

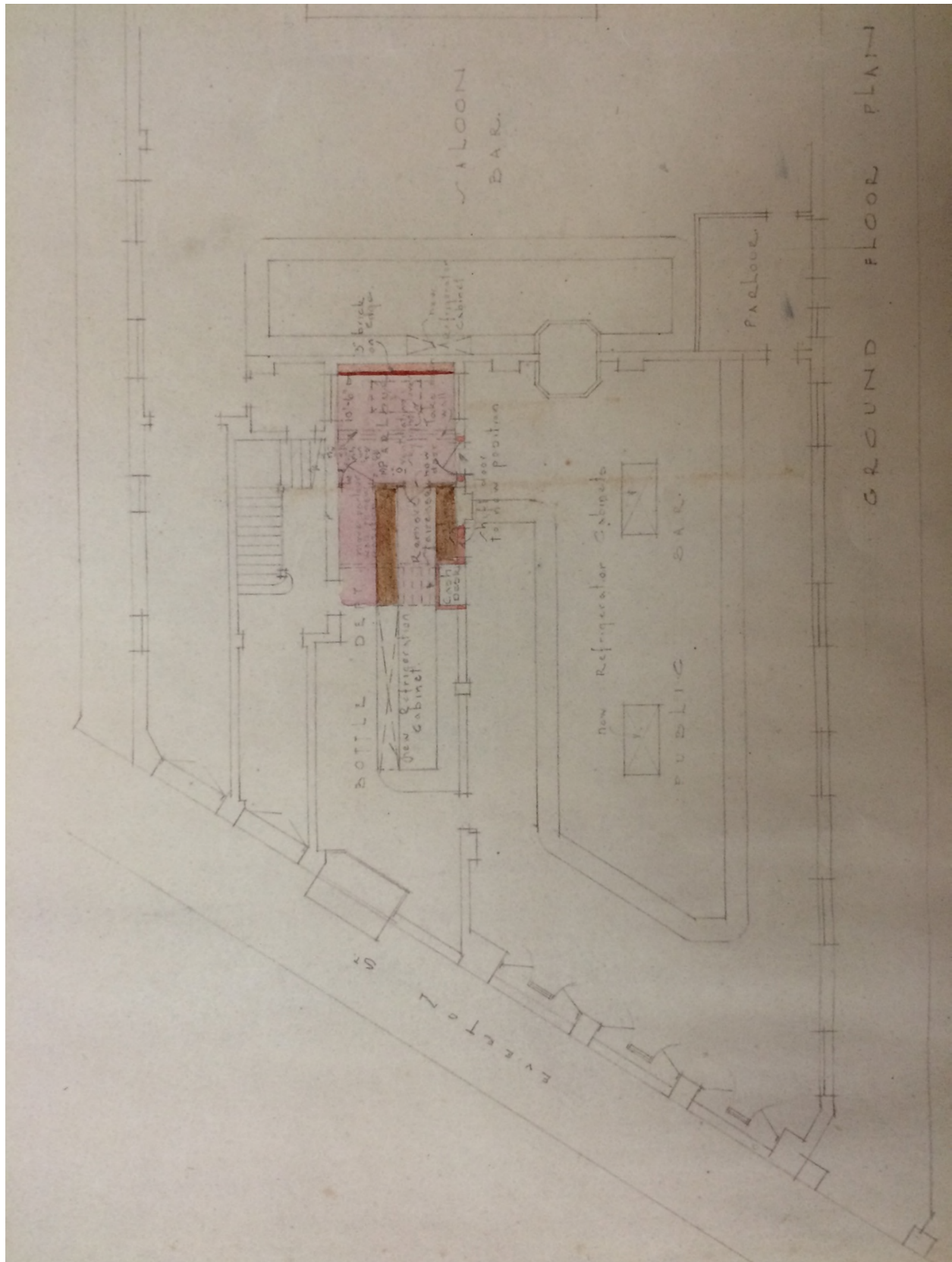
- 14.2.1 ORIGINAL BLUEPRINT – GROUND FLOOR – AS EXISTING 1925
- 14.2.2 ORIGINAL BLUEPRINT – FIRST FLOOR – AS EXISTING 1925
- 14.2.3 GROUND FLOOR PLAN – PITT & MORROW 1926-1928
- 14.2.4 FIRST FLOOR PLAN – PITT & MORROW 1926-1928
- 14.2.5 SECOND FLOOR PLAN – PITT & MORROW 1926-1928
- 14.2.6 SOUTH ELEVATION – PITT & MORROW 1926-1928
- 14.2.7 WEST ELEVATION – PITT & MORROW 1926-1928
- 14.2.8 EAST ELEVATION – PITT & MORROW 1926-1928
- 14.2.9 NORTH ELEVATION – PITT & MORROW 1926-1928
- 14.2.10 SECTION – NORTH / SOUTH - PITT & MORROW 1926-1928
- 14.2.11 CELLAR PLAN – PITT & MORROW 1926-1928
- 14.2.12 PHOTOS 1930; 1949; 1960 & 1970 – TOOTH'S “YELLOW CARDS” – Noel Butlin Archives

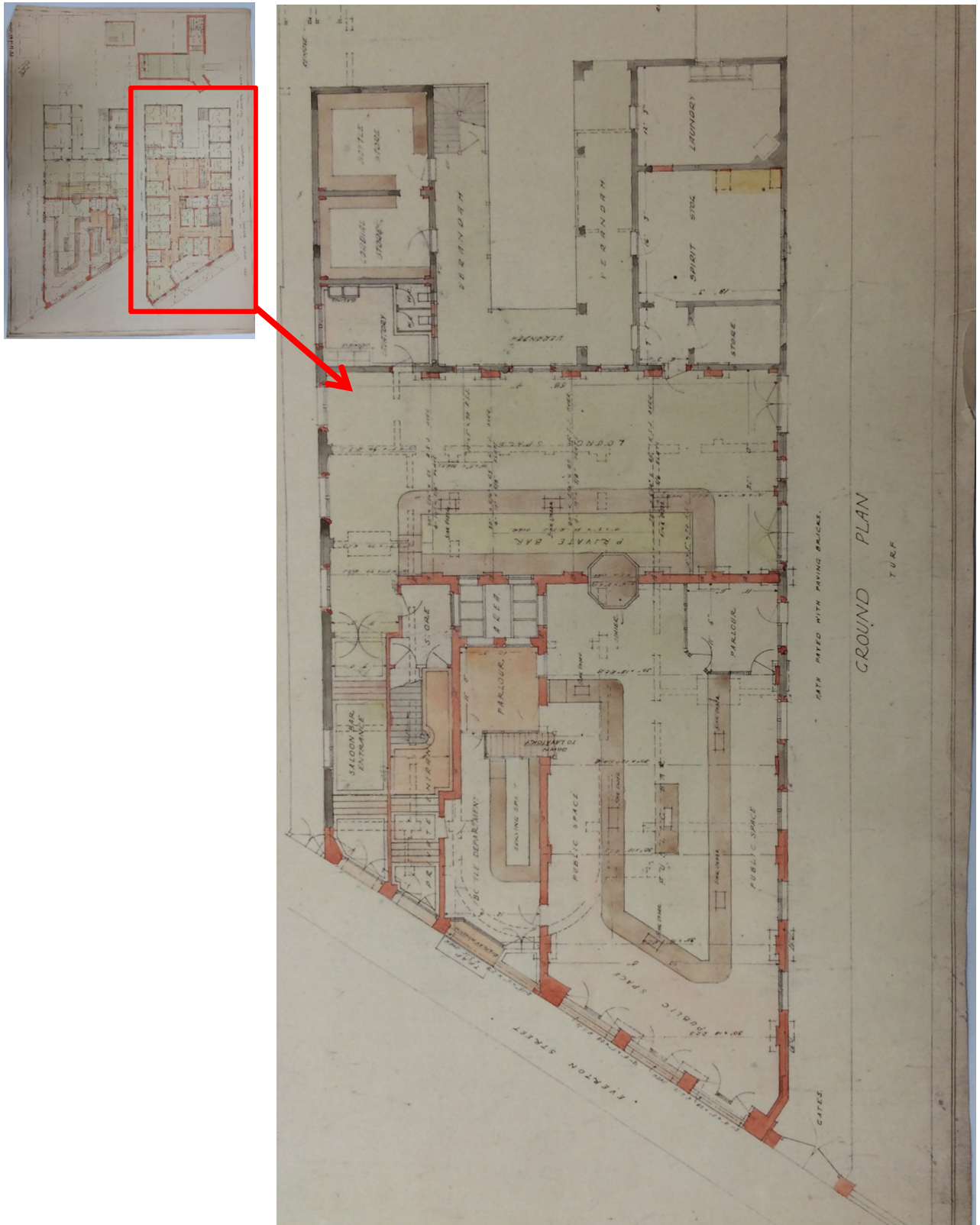
15 ATTACHMENT C: REFER A₃ REFERENCE DRAWINGS PROVIDED SEPARATELY



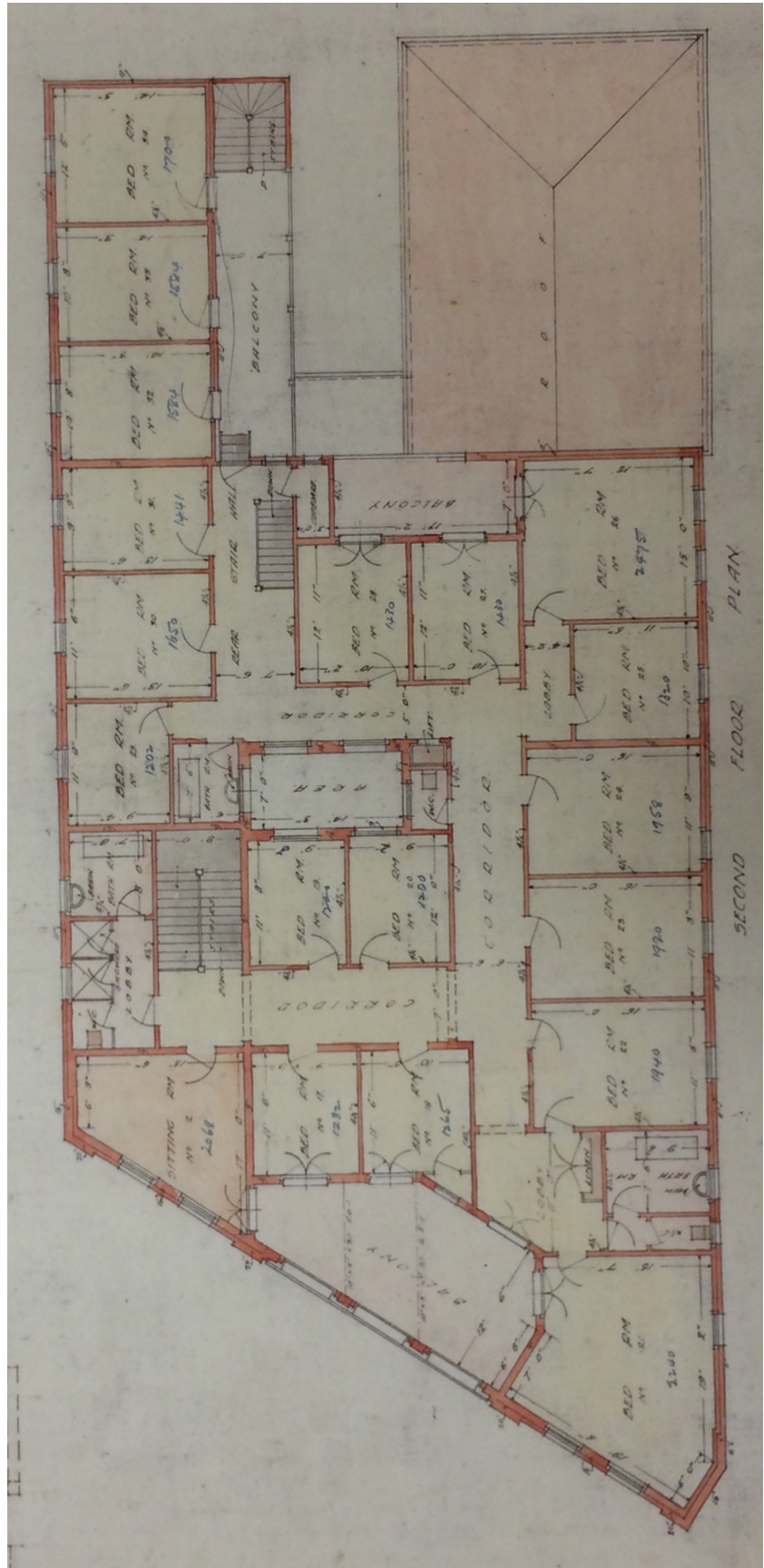


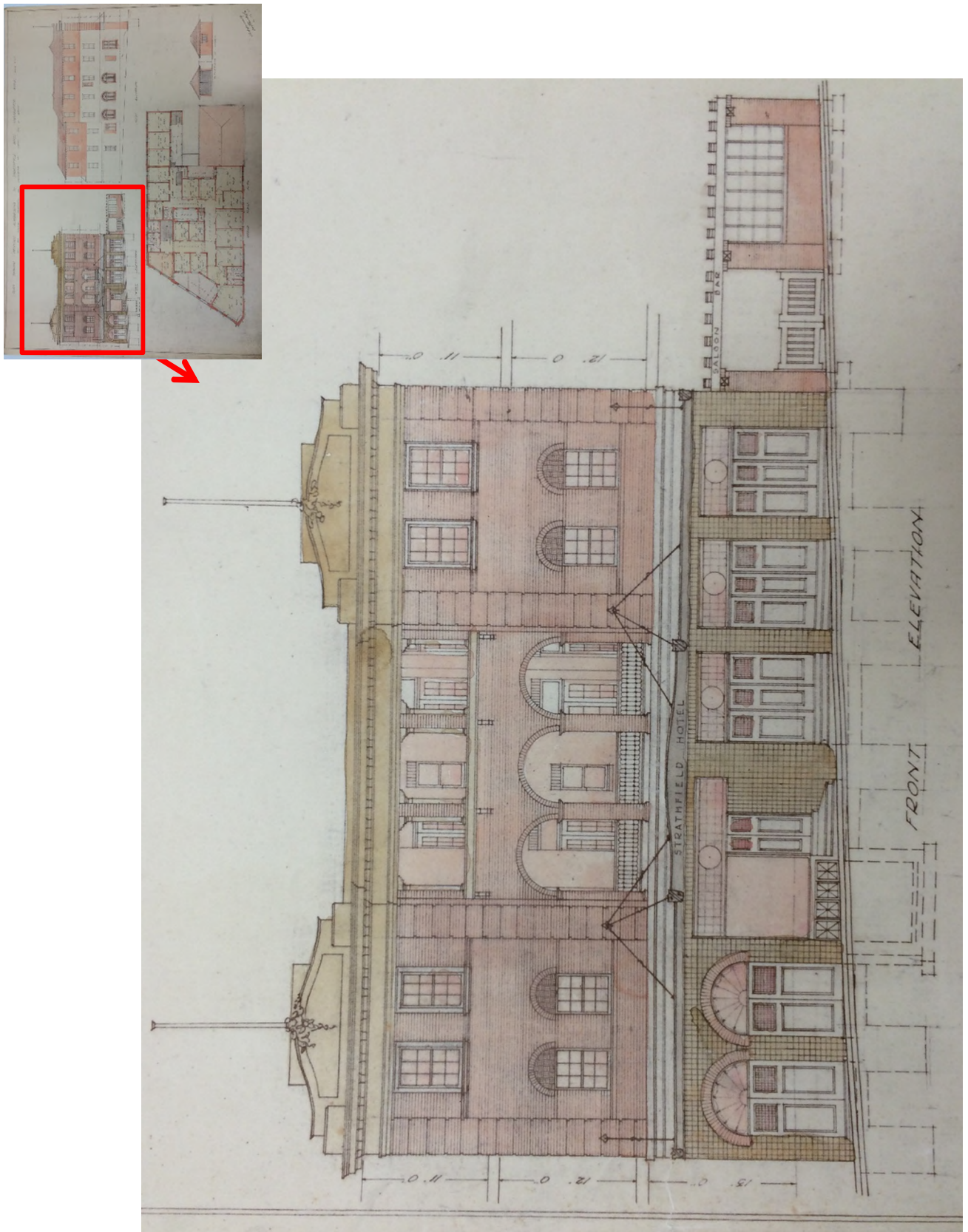


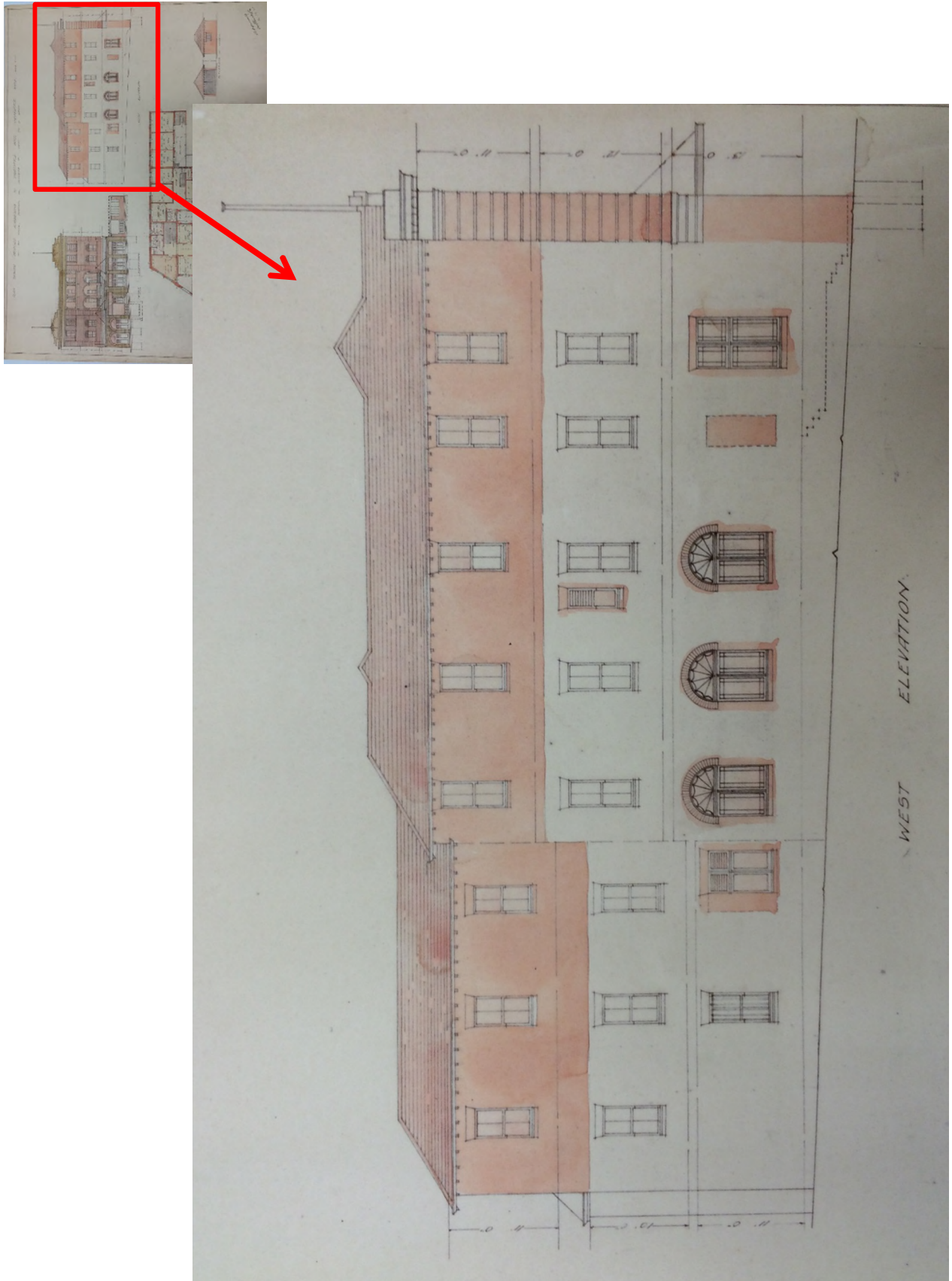




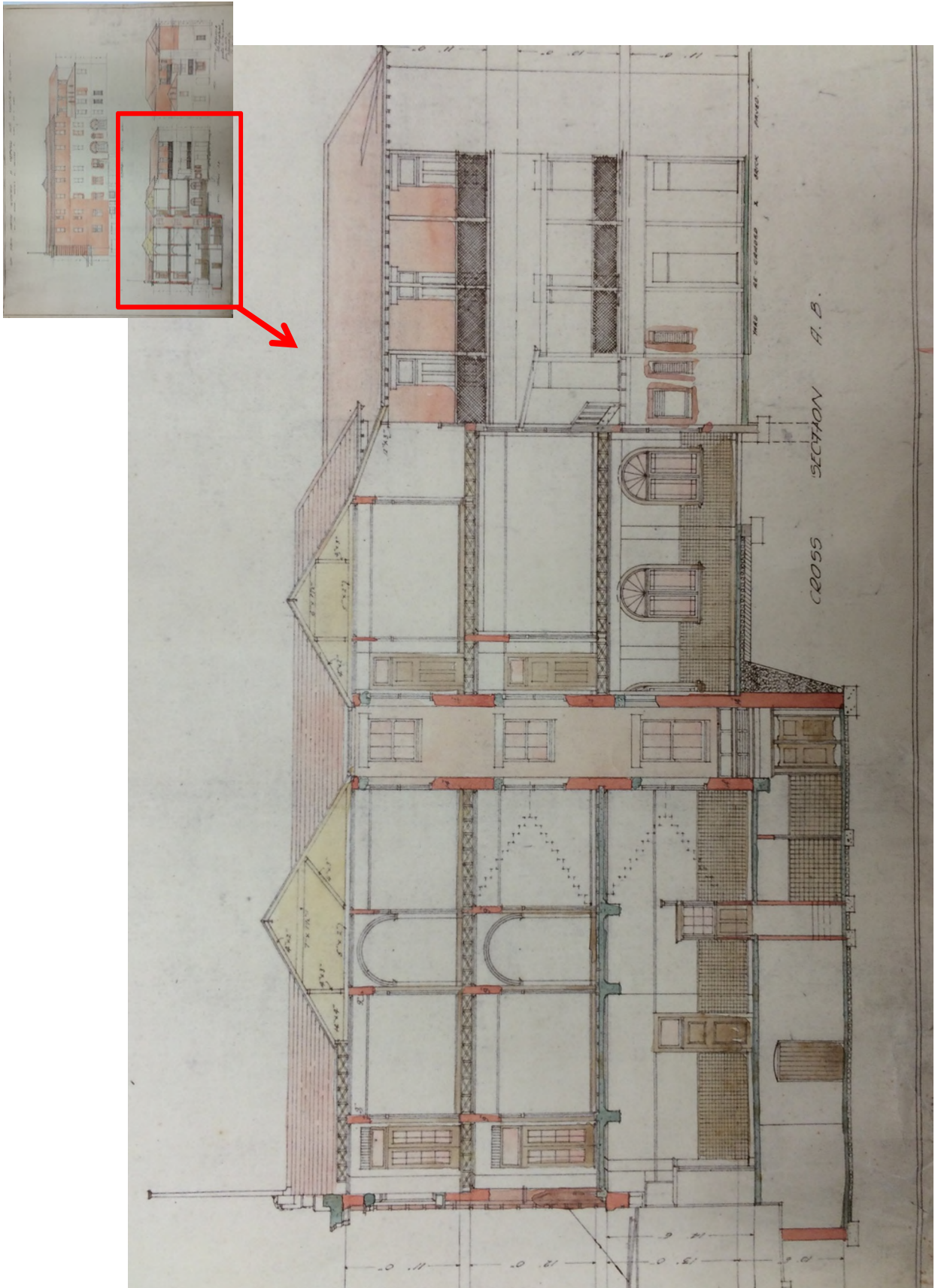


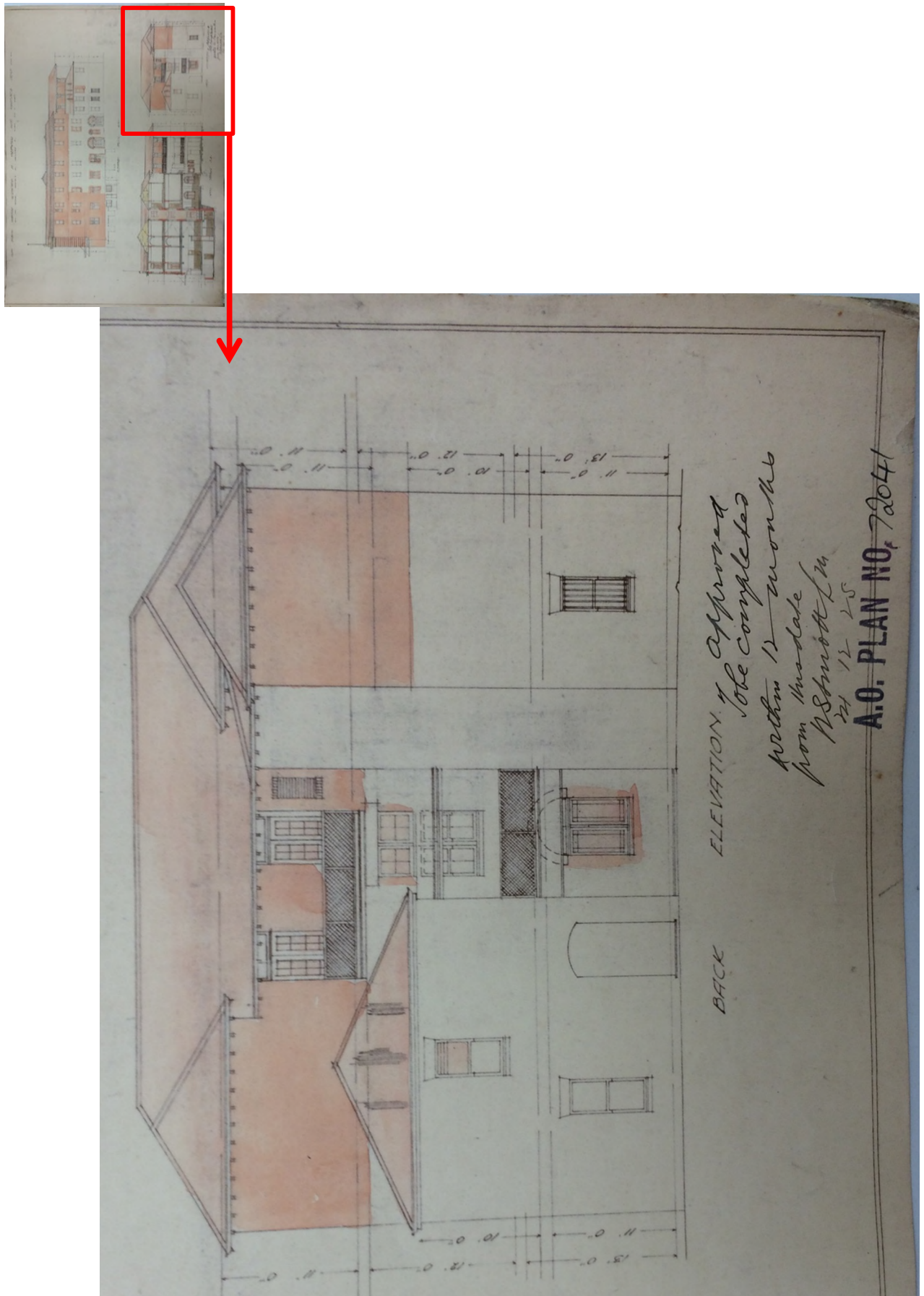












SPECIFICATION OF WORK TO BE DONE AND
MATERIALS TO BE USED IN THE
ALTERATIONS AND ADDITIONS TO
STRATHFIELD HOTEL, EVERTON STREET,
STRATHFIELD, FOR MRS. M. WHELAN,
UNDER THE SUPERVISION AND TO THE
ENTIRE SATISFACTION OF

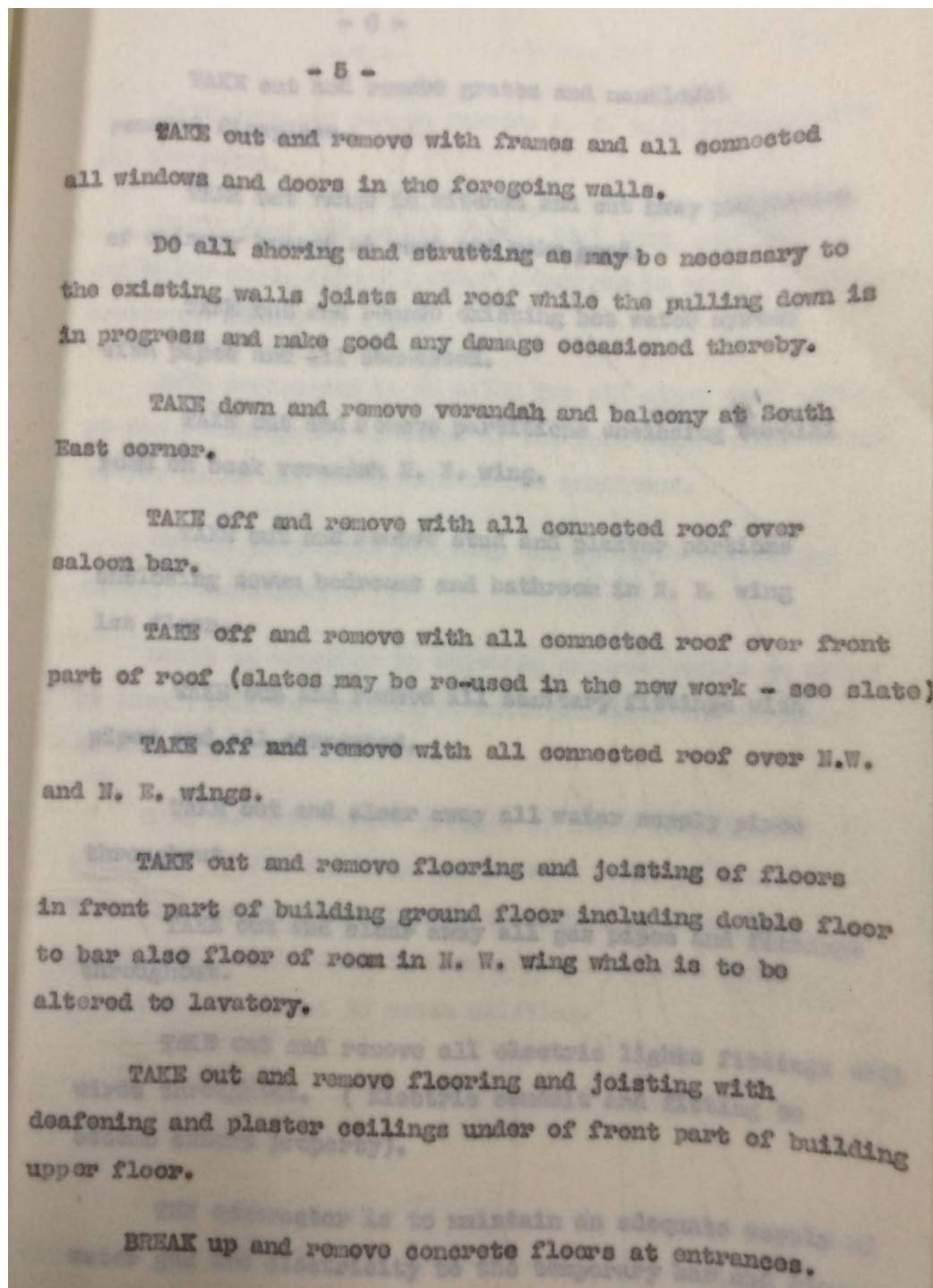
Pitt & Morrow,
Architects,
Richmond House,
Castlereagh St.
SYDNEY.

DEMOLISHER.

THE demolishing has to be carefully carried out in sections to suit the convenience of the Proprietors and the contractor will be held responsible for any damage done to the existing structure.

ALL the old materials will become the property of the contractor. Materials where found good suitable and approved of by the Architects will be allowed to be re-used in the new work where pointed out the remainder with all rubbish connected to be removed from the site.

TAKE down and remove stone cope and iron railing at front of site with all connected.



- 7 -

TAKE down and remove outside W. C. with fittings and all connected.

TAKE down and remove sheds, fowl runs, stable and sulky shed, also all other erections in yard, including enclosure fences as shown.

THE Contractor is to allow for all other down takings as may be necessary to allow of the work being carried out as per plans and not herein before mentioned.

SUPPLY tarpaulins and keep the premises watertight during alteration.

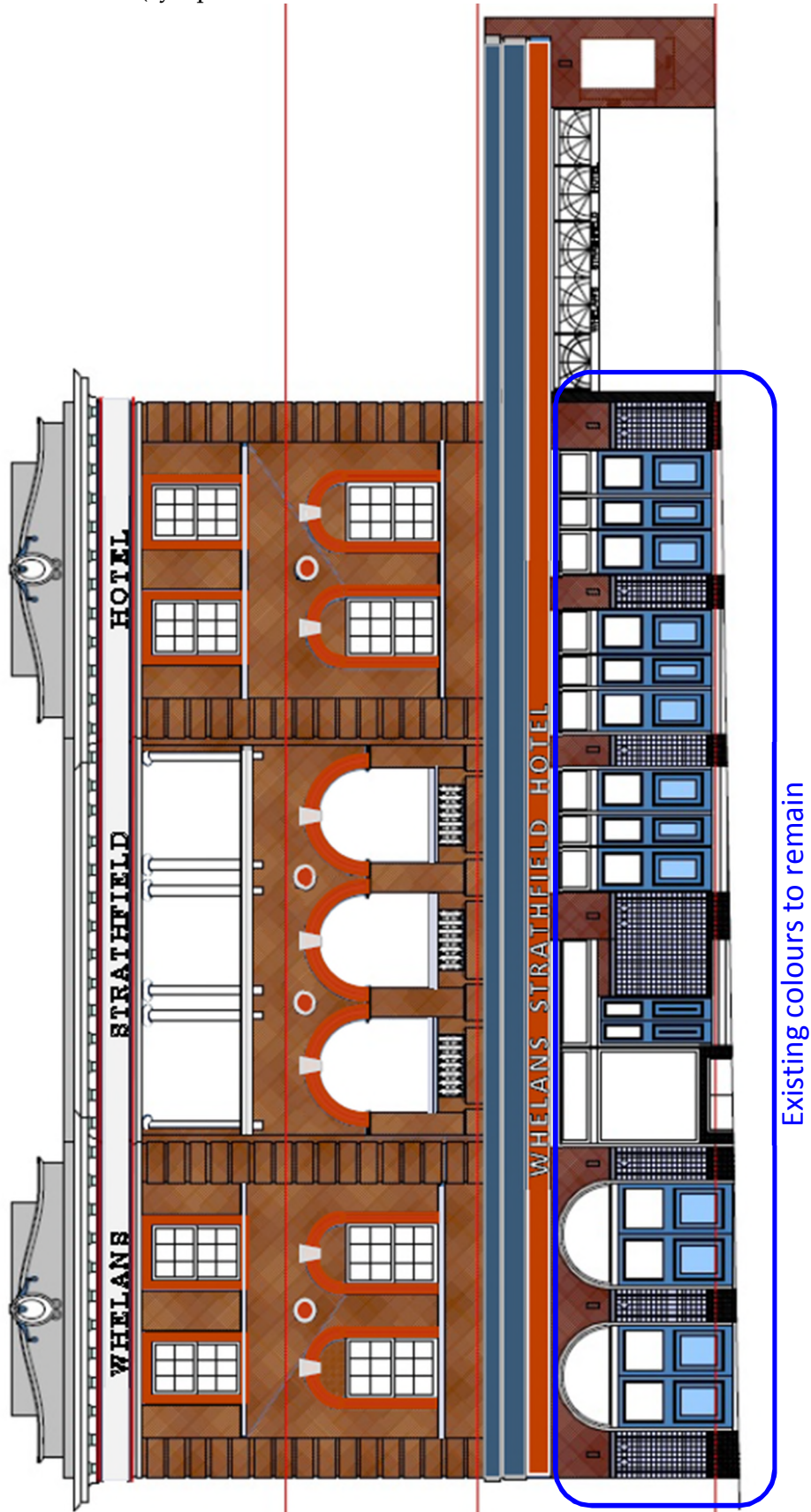
BUILD up openings in existing external walls as shown on plan faced and pointed to match existing and properly tied to the old work.

TAKE out and remove windows or doors at built up openings. Cut openings in external walls as shown, build in new concrete lintels or arches as hereafter specified, brick sills to match, and make good jambs in brick and cement to match existing.

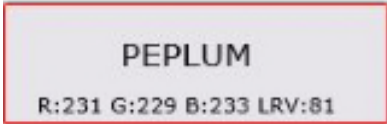
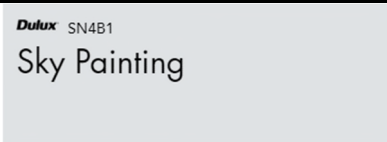
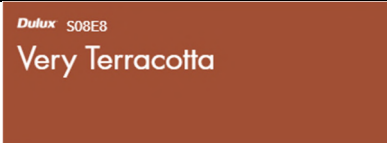
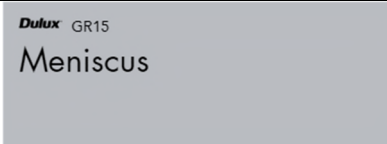

REMOVE all water accumulating in excavated areas and trenches.

16 ATTACHMENT D: EXTERNAL COLOURS “HOTEL CORE” FACADE

(sympathetic colours for Inter-War Period and Free Classical style)



STREET FAÇADE – COLOUR SCHEDULE

No	Colour Name / Element	Colour Ref	Notes
A	Dulux "Peplum" still available – request by name	PW2H7	 PEPLUM R:231 G:229 B:233 LRV:81
A'	Dulux "Sky Painting" = close equivalent on current charts R:223, G:226, B:228 LRV Value: 78	SN4B1	 Dulux SN4B1 Sky Painting
1	Timber window frame		
2	Circular columns level 2		
3	Cornice over dentils		
4	Between dentils		
5	Trim around circular motifs		
6	Keystone over arches		
7	Balusters under first floor handrail		
8	First floor handrail		
9	Dado under first floor windows		
10	Dado under second floor windows		
11	Top moulding over second floor balcony handrail		
12	Scrolls on Doric column capitals		
13	Moulding above scrolls on Doric column capitals		
14	Dentils above "WHELAN'S STRATHFIELD HOTEL"		
15	Signage band for "WHELAN'S STRATHFIELD HOTEL"		
16	Wide band below balustrade to second floor balcony		
B	Dulux "Very Terra Cotta"	S08E8	 Dulux S08E8 Very Terracotta
17	Awning facing		
18	Circular motifs (decal face)		
19	Dado above & below "WHELAN'S STRATHFIELD HOTEL"		
20	Arched mouldings		
21	Mouldings around timber windows		
C	Dulux "Meniscus"	GR15	 Dulux GR15 Meniscus
22	Parapet above cornice over the dentils		
D	Dulux "High Alter"	S39E8	 Dulux S39E8 High Alter
22	Rendered band above ground floor awning		

COLIN ISRAEL – HERITAGE ADVICE AUGUST 2018